



**Response to Applicant  
Form 4A**

December 16, 2021

Courtney Rice

Dear Ms. Rice,

Re: Your request for access to information under Part II of the **Access to Information and Protection of Privacy Act, 2015** [Our File # 2021-26]

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On November 21, 2021, the Town of Paradise received your request for access to the following records/information:

*Development/building permits and any supporting documents submitted by proponents for any cell towers/cell sites/small cells in the town from 2014 to present. - Correspondence to/from council or city staff regarding the same*

I am pleased to inform you that a decision has been made by the ATIPP Coordinator for the Town of Paradise to provide access to the requested information. Access to some of the information within the requested records has been refused in accordance with the following mandatory exception to disclosure, as specified in the Access to Information and Protection of Privacy Act, 2015 (the Act):

**40. Disclosure harmful to personal privacy**

*40.1. The head of a public body shall refuse to disclose personal information to an applicant where the disclosure would be an unreasonable invasion of a third party's personal privacy.*

Please be advised that you may ask the Information and Privacy Commissioner to review the processing of your access request, as set out in section 42 of the Access to Information and Protection of Privacy Act, 2015 (the Act). A request to the Commissioner must be made in writing within 15 business days of the date of this letter or within a longer period that may be allowed by the Commissioner.

The address and contact information of the Information and Privacy Commissioner is as follows:

Office of the Information and Privacy Commissioner  
2 Canada Drive  
P. O. Box 13004, Stn. A  
St. John's, NL. A1B 3V8  
Telephone: (709) 729-6309  
Toll-Free: 1-877-729-6309  
Facsimile: (709) 729-6500

You may also appeal directly to the Supreme Court within 15 business days after you receive the decision of the public body, pursuant to section 52 of the Act.

If you have any further questions, please feel free to contact me by telephone or email.

Sincerely,

*Corey Smith*  
for

Terrilynn Smith  
ATIPP Coordinator

**NOTICE OF DISCRETIONARY USE**  
**Cellular Antenna System**  
**3A Camrose Drive (Water Tower)**

The Town of Paradise has received an application for approval to erect a 3 meter high cell phone antenna system attached at the top of the Towns water tower located at 3A Camrose Drive. The overall total height of the cell antenna including the water tower will be 9 meters. The subject property is located within the Public Use zone, in which a cell antenna is considered a discretionary use.

This Notice of Discretionary Use is advertised in accordance with Section 10 and Section 91 of the Town of Paradise Development Regulations, 2004. Any person who wishes to comment on the proposed development is asked to contact the Town of Paradise in writing by 4:00 p.m., Monday, August 12, 2013. Please submit all correspondence to:

Jason L. Slade  
Development Technician  
Telephone: (709) 782 - 1400  
Facsimile: (709) 782 – 3603  
[jslade@townofparadise.ca](mailto:jslade@townofparadise.ca)

**TOWN OF PARADISE  
28 McNamara Drive  
Paradise, NL A1L 0A6**

**AUTHORIZATION FORM**

DATE: June 14, 2018

NAME OF APPLICANT: Bell Mobility Inc

ADDRESS: 1 Carrefour Alexander G Bell Tour A Floor 5 Verdun QC H3E 3B3

RECEIPT NO 402998

LOCATION: 3A Camrose Drive

AUTHORIZING:

Refund of \$ \_\_\_\_\_ for water and sewer hook-up to main line

Refund of \$ \_\_\_\_\_ for water and sewer hook-up from property

Refund of \$ \_\_\_\_\_ for Landscaping/Paved Way Dr./Bldg. Insp.

Refund of \$ 250.00 for Cell Tower Security

Minus \$ \_\_\_\_\_ for

Total \$ 250.00

\_\_\_\_\_  
Signature of Clerk, or  
Authorized Municipal Inspector

## BUILDING PERMIT

Permit Number	C2016-581	Date of Issue:	1/11/2017
Location:	117 McNamara Drive, Paradise	Expiry Date:	1/11/2018
Permit Type:	Communication		

**Applicant**

East Link  
Box 8660, 6080 Young Street  
Halifax NS

**Owner**

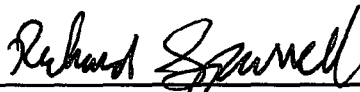
Coastal Supply & Contracting C  
117 MCNAMARA DRIVE  
PARADISE NL A1L 0A7

**Contractor**

**Specifications:** Permit to construct cellular tower as per Engineered drawings, Grading plan and Development Approval dated August 22nd , 2016. All construction to comply with NBCC 2010.

### PERMIT TO BE DISPLAYED ON-SITE

THIS PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUE. You are required to notify the Building Inspector at the Planning & Protective Services Department upon completion of the various stages of construction to inspect. Inspections will be carried out between 8:30 am and 4:00 pm Monday to Friday, excluding Municipal holidays, and other times as approved.



Signature of Clerk or Authorized Municipal Officer

9 January 2017

Eastlink  
c/o Logan McDaid  
Box 8660, 6080 Young Street  
Halifax, NS B3K3M5

Attention: Mr. McDaid

RE: 61 meter Cellular Tower – 117 McNamara Drive, Paradise

The Building Department has reviewed the plans you submitted for the above referenced project.

Please be advised that a Final Inspection will be required and security deposit will not be released until the town receives a copy of the final inspection report from the professionals responsible for the following aspects of the construction:

- 1.) P. Eng. Certification of Tower and Support Building
- 2.) Lot Grading and Location Certificate
- 3.) Geotechnical/Engineering Report
- 4.) Electrical Certificate from Service NL
- 5.) Any other certificates as required by the building inspector

If you have any further questions, please feel free to call me at 782-1400.

Regards,



Richard Spurrell  
Building Inspector/Engineering Technologist



## **STANDARDS CONDITIONS OF A BUILDING PERMIT**

**THESE CONDITIONS AS ATTACHED FORM PART OF BUILDING PERMIT # C2016-581**

A BUILDING PERMIT HAS BEEN ISSUED FOR THE ABOVE DEVELOPMENT SUBJECT TO COMPLYING WITH THE STANDARD CONDITIONS LISTED HEREIN:

### **1.0 PLANS AND SPECIFICATIONS**

The plans submitted to this office have been reviewed as noted.

ALL CONSTRUCTION SHALL CONFORM TO THE 2010 NATIONAL BUILDING CODE OF CANADA AND ANY OTHER CODES ADOPTED BY THE TOWN OF PARADISE.

No changes from reviewed plans and specifications are permitted without the written approval of the Towns Engineering/Building Department. Please contact this department prior to making any changes to approved plans.

### **ELECTRICAL CONTRACTORS**

An Electrical Permit for the installation of electrical equipment, wiring, including electrical communications systems and emergency systems must be obtained from the Government of Newfoundland and Labrador, Service NL, 149 Smallwood Drive, Mount Pearl, NL. This permit must be obtained by a Registered Electrical Contractor, currently licensed to practice in the trade.

### **5.0 CONDITIONS OF PERMITS**

#### **5.1 GENERAL**

This permit does not authorize the use or occupancy of Crown Land or other lands without a lease or grant from the Crown or permission from the owner nor does it exempt the applicant from obtaining any other permits or approvals required by law.

The placard issued by the Town of Paradise relating to the work authorized by this or any other permit must be displayed in full public view on site.

You are advised that the granting of this permit shall not, in any way, relieve the owner and/or the developer from the full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations. Any person who carries out any development or building work that is not in compliance with this decision and the Regulations may be subject to an

order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution.

## 5.2 PROTECTION AGAINST NEGLIGENCE AND DAMAGES

The applicant shall indemnify and save harmless the Town from all suits and actions for damages and costs to which they may be put by reason of injury to persons or property resulting from negligence, carelessness, or any other cause whatsoever, in the performance of the work. The applicant shall assume all damage liability to persons and properties caused by reason of his operation on this work.

## 5.3 GUARANTEES

The applicant is responsible to ensure that all work is completed as per all plans, specifications and regulations. The Town of Paradise assumes no responsibility for any work performed by the contractor or the home owner. The applicant is responsible for the cost to correct deficiencies found at the time of inspection.

## 5.4 CONSTRUCTION STANDARDS

Work carried out under this permit shall be in accordance with the latest adopted Codes and Regulations of the Town. Copies of all applicable codes and regulations are available for viewing at the offices of the Town Hall.

## 5.5 CLEAN-UP

At all times keep structures and work areas free from accumulations of waste products and general debris. Upon completion of the work remove all waste products, debris, surplus materials, tools, equipment from the site(s) and leave the site(s) in a clean and tidy condition. Re-instate any landscaped areas affected by construction to match the existing site conditions.

## 5.6 SAFETY REQUIREMENTS

The applicant shall supply and maintain, at all times, while work is being carried out at each site, adequate barricades, signs, warning lights, flag persons, etc. to prevent hazards, inconveniences or damage to property. The applicant is responsible to ensure that, at all times, their property is kept in a safe manner. All pre-cautionary measures shall conform to Part 8 of the N.B.C.C. Latest Edition (Safety Measures at Construction and Demolition Sites).

## 5.7 REVOCATION OF PERMIT

The Town of Paradise reserves the right to revoke any permit without notice for violation of any condition or for unsatisfactory performance on the part of the applicant.

## **MANDATORY BUILDING INSPECTIONS**

All individuals, builders and contractors are advised inspections shall be performed, by the Town of Paradise, in accordance with the schedule listed below for all building or construction within the Town.



A Building Inspection Deposit is required at the time a building permit is issued for any Residential, Commercial, Industrial or any other development as directed by council. Amount of security depends on work to be undertaken.

Inspections may be arranged by contacting the Town Office, Telephone number 782-3569. **Twenty Four hours (24hrs) notice** is required for inspections. When requesting an inspection, please leave your name, telephone number, the location of the work and the type of inspection required. The Inspector may contact you and arrange a time for the inspection, if required. A copy of the reviewed building plans and building permit must be at the site at all times.

Please ensure that work is ready when the request for inspection is made. Re-inspections required due to premature requests, are subject to a fee of \$100.00 to be paid by the applicant prior to the inspection being completed. This will not be taken from any security deposits and will be charged to the applicant at the discretion of the Town.

**Inspections must be scheduled during regular working hours as follows:**

**Mon-Fri Summer hours 8:30am-4:00pm (Victoria Day weekend to Labour Day weekend)**  
**Winter hours 8:30am-4:30pm**

If an inspection is required outside regular working hours, the applicant shall be charged the **actual cost** of the inspection.

Failure to obtain the required inspections will result in the Town requiring the work to be uncovered for inspection, at the cost of the applicant. The Town may refuse the issuance of an occupancy permit; forfeit your landscaping/building security deposit; charge a fee of \$100 per inspection not completed; or take other action as deemed necessary

## **6.1 INSPECTION SCHEDULE**

The owner is responsible to ensure that footings are placed as per the approved plot plan. The Town recommends the use of a Certified Licensed Surveyor in the locating of any footing/foundation work.

### **BACKFILL INSPECTION:**

Following the construction of the footings and foundation walls request a back-fill inspection. A Surveyors Real Property Report showing the location of the foundation with respect to the property boundaries must be submitted and approved by the Town prior to the backfill inspection being carried out.

### **OCCUPANCY/FINAL INSPECTION**

The work authorized by this permit shall not be used or occupied without an Occupancy Permit from the Town of Paradise. Once all other inspections are completed and prior to occupying the building request an Occupancy Inspection. Prior to this stage, the installation of plumbing fixtures and devices must be completed. The following certificates must be submitted to and approved by this department:

- 1.) P. Eng. Certification of Tower and Support Building
- 2.) Lot grading and Location certificate
- 3.) Geotechnical/Engineering report
- 4.) Electrical Certificate from Service NL

5.) Any other certificates as required by the building inspector

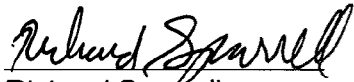
At the sole discretion of the Town, an occupancy permit will be issued at this stage. An occupancy permit will not be issued if there are any deficiencies, that will adversely affect health and life safety or if an unacceptable number of deficiencies exist

## 6.2 GENERAL NOTES

6.2.2 Any applicant who moves into and occupies a building and who has obtained a Building Permit but has not obtained an Occupancy Permit will be taxed on the basis that the building/residence was occupied 90 days from the date of issue on the Building Permit.

## 1.0 OTHER REQUIREMENTS

If you have any further questions feel free to contact the undersigned at 782-1400



Richard Spuffell  
Building Inspector/Engineering Technologist



**eastlink**

SITE CODE: NLA040  
LOCATION: McNAMARA  
PARADISE, NL

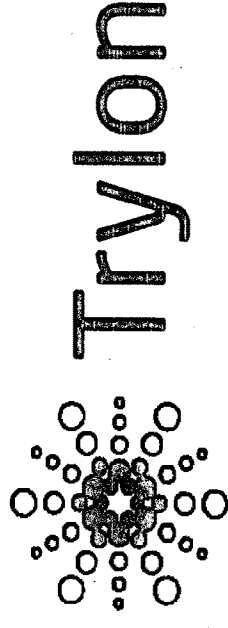
CIVIL DRAWINGS	
TRYLON DWG. NO.	DRAWING NAME
121255.319.0102	TITLE PAGE
121255.319.0301	TOWER PROFILE
121255.319.0302	Tx-LINE LAYOUT
121255.319.0303	ANTENNA LOADING CHART
121255.319.0401	COMPOUND LAYOUT
121255.319.0601	TOWER FOUNDATION
121255.319.0602	TOWER FOUNDATION
121255.319.0603	SHELTER FOUNDATION
121255.319.0604	REBAR CUTTING CHART
121255.319.0605	FOUNDATION NOTES
121255.319.0901	TEMPLATE ASSEMBLY
121255.319.1201	STANDARD GROUNDING DETAILS
121255.319.1202	STANDARD GROUNDING DETAILS
121255.319.1203	GROUNDING DETAILS
121255.319.1204	GROUNDING NOTES
121255.319.1205	GROUND WIRE CUTTING CHART
FILE	BOM

JOB DESCRIPTION: 199.5' [60.8M] KDSS TOWER  
SITE NAME: McNAMARA, NL

TRYLON JOB NO.: 121255  
CUSTOMER: EASTLINK  
SITE CODE: NLA040  
LATITUDE: 47.520569° N  
LONGITUDE: -52.867508° W

NOTE: PROFESSIONAL ENGINEERING STAMP APPLIES  
ONLY TO THE DRAWINGS INCLUDED HEREIN.

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**THE TOWN OF PARADISE  
REVIEWED**

THE REVIEW OF PLANS OR DRAWINGS SHALL NOT PREVENT  
THE AUTHORITY FROM THEREAFTER REQUIRING THE COR-  
RECTION OF ERRORS OR DEFICIENCIES, ALL WORK TO COM-  
PLY TO THE LATEST ADOPTED NATIONAL BUILDING CODE OF  
CANADA AND ANY OTHER APPLICABLE CODES OR REGULA-  
TIONS AS ADOPTED BY THE TOWN OF PARADISE.

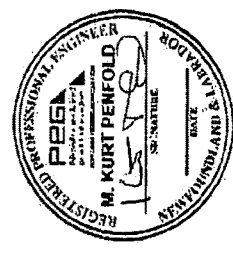
DATE: Jan 9/17 SIGNED: [Signature]

IN CASE OF EMERGENCY CALL:  
519-669-5421 (DAYS)  
1-877-572-9995 (EVENINGS AND WEEKENDS)

REV.	BY:	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

**eastlink**  
 SITE CODE: NL040  
 LOCATION: McNAMARA  
 PARADISE, NL

REFERENCE	DRAWINGS:
DRAWING NUMBER	DRAWING NUMBER
0303	



Nov 10 2016 2:47 PM

**Trylon**

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DRAWING NO. 121255.319.0301

CUSTOMER: EASTLINK  
 SITE: McNAMARA  
 SCALE: 460,000

DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA

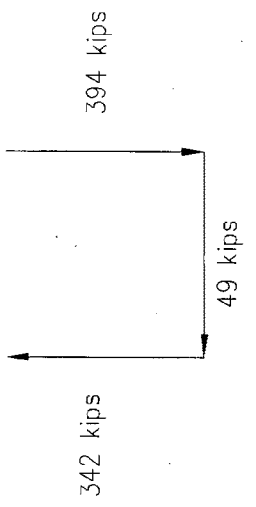
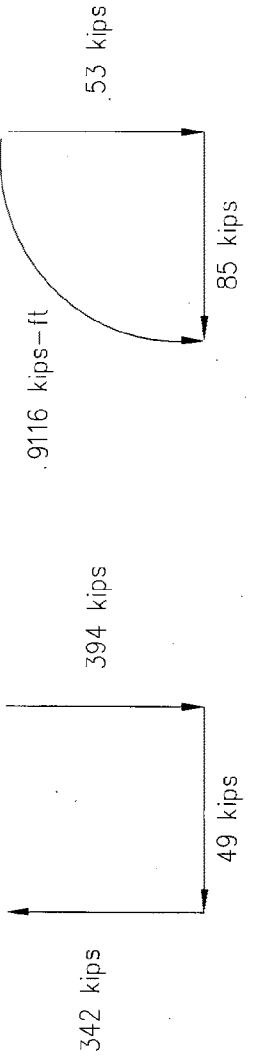
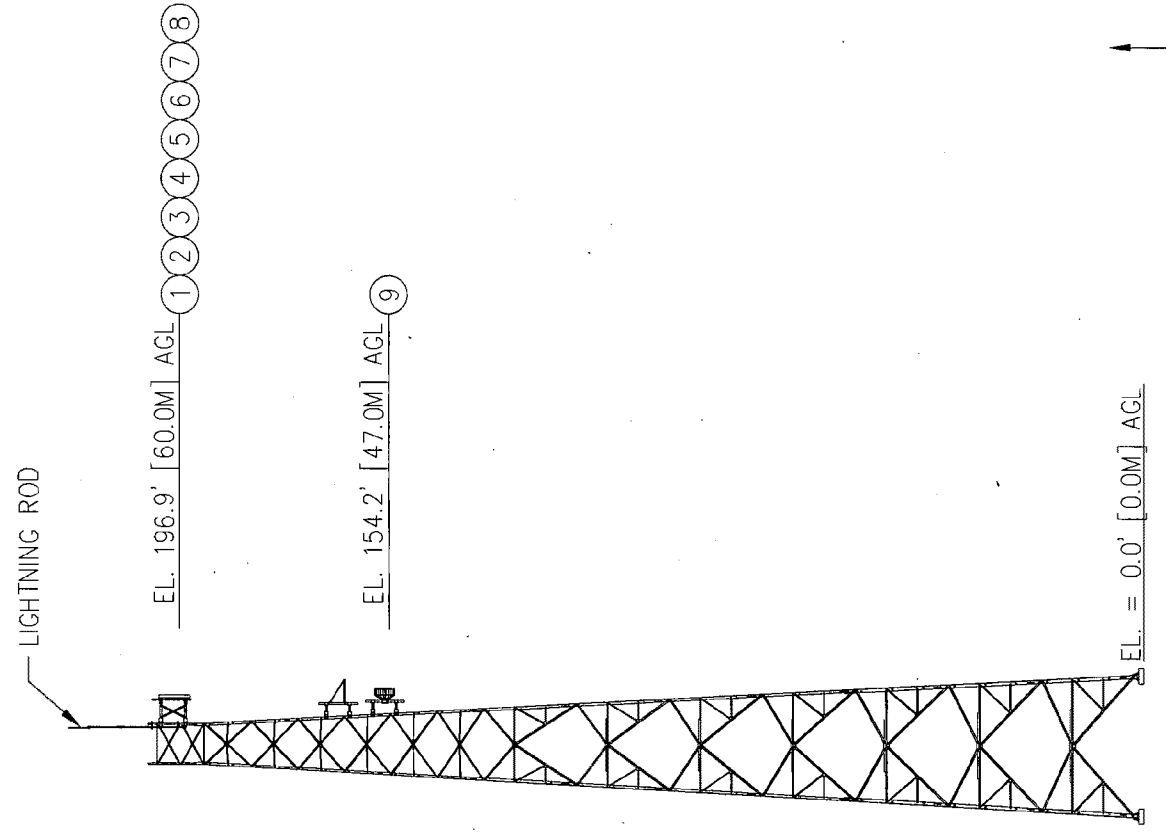
TITLE: TOWER PROFILE

**MEMBERS LEGEND**

- A = L 4" x 4" x 5/16" - 44W
- B = L 3" x 3" x 3/16" - 44W
- C = L 2-1/2" x 2-1/2" x 3/16" x 3/16" - 44W
- D = L 4" x 4" x 1/4" - 44W
- E = V 8" x 8" x 5/8" - 50W
- F = L 2" x 2" x 3/16" - 44W
- G = V 6" x 6" x 3/4" - 50W
- H = L 3-1/2" x 3-1/2" x 1/4" - 44W
- I = V 6" x 6" x 5/8" - 50W
- J = L 3" x 3" x 1/4" - 44W
- K = V 6" x 6" x 1/2" - 50W
- L = V 5" x 5" x 1/2" - 50W
- M = V 5" x 5" x 3/8" - 50W
- N = V 4" x 4" x 3/8" - 50W

**TOWER DESIGNED TO SITE SPECIFIC:**

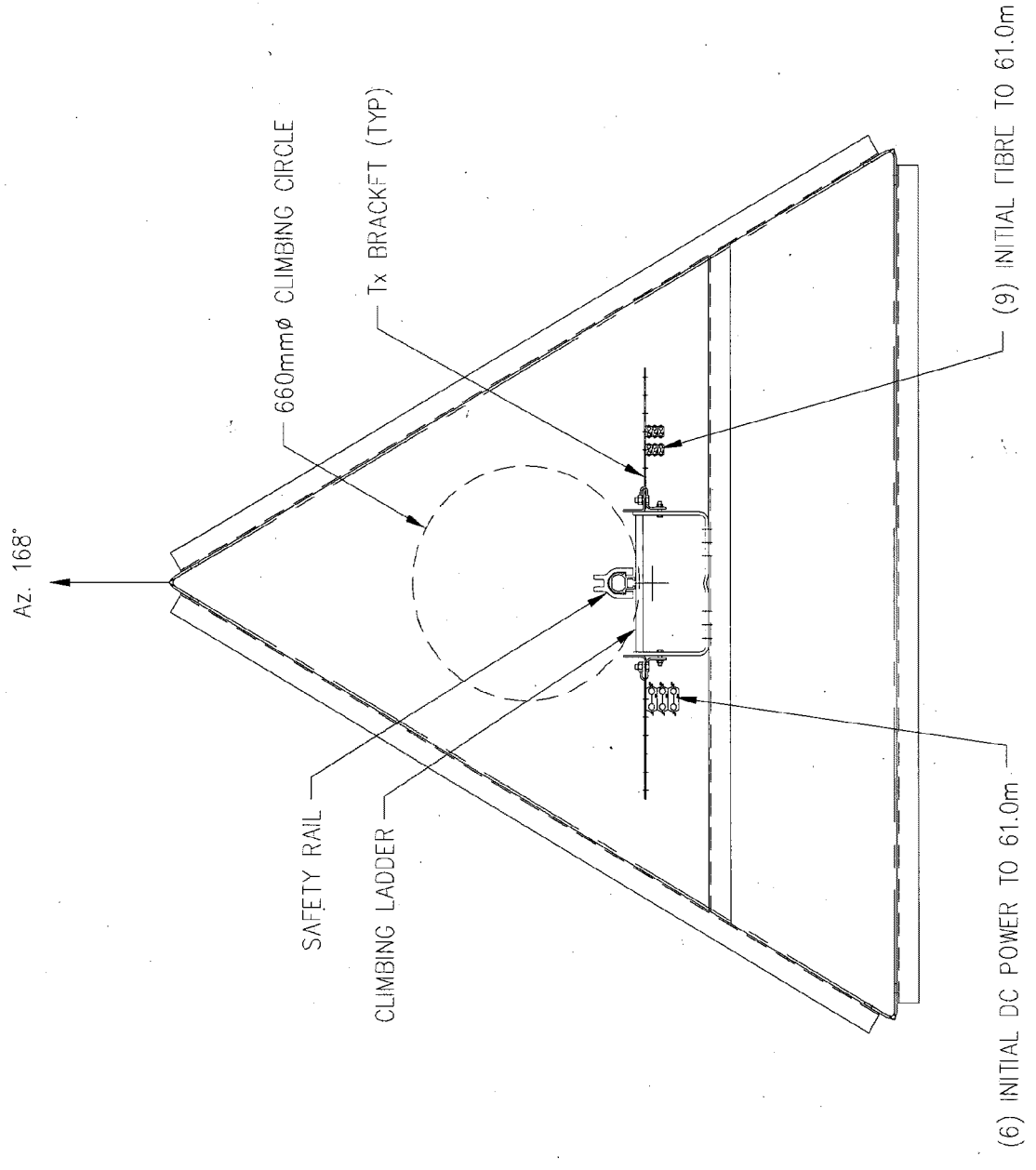
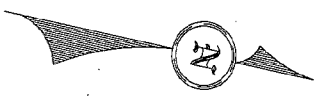
DESIGN STANDARD: CSA-S37-13  
 DESIGN WIND PRESSURE (1/50): 15.4 (psf) [737 (Pa)]  
 SERVICE WIND PRESSURE (1/10): 11.9 (psf) [569 (Pa)]  
 TERRAIN CLASSIFICATION: SITE SPECIFIC  
 BASIC ICE THICKNESS: 1.65(in) [42.00 (mm)]  
 SEISMIC CONSIDERED: SITE CLASS C, GROUND ACC TO NBCC  
 IMPORTANCE FACTOR: 1.0  
 SERVICEABILITY FACTOR: 1.0  
 MAX MW ROTATION (AT 1/10): <= 0.45°  
 LATITUDE: 45.071461° N  
 LONGITUDE: 64.467503° W  
 \* SITE-SPECIFIC WIND PRESSURE VALUES FROM E.C. 08-JUN-2016



199.5' [60.8M] KDSS ANGLE LEG TOWER

INSTALL DRAWING	1501&	1502	1503	1504	1505	1506	1507	1508	1509	1510	1511	1512
LEG	F	G	I	K	L	M	N	C				
DIAGONAL	A	A	A	A	A	A	A	A	A	A	A	A
HORIZONTAL	B	B	B	B	B	B	B	B	B	B	B	B
SUB HORIZONTAL	C	C	C	C	C	C	C	C	C	C	C	C
SUB DIAGONAL	D	D	D	D	D	D	D	D	D	D	D	D
SPECIAL HORIZONTAL	E	E	E	E	E	E	E	E	E	E	E	E

- NOTES: 1) FOUNDATION LOADS ARE FACTORED.  
 2) REFER TO DWG 0303 FOR ANTENNA LOADING CHART.  
 3) FOUNDATION LOAD ARE A RESULT AF DESIGN WIND AND ICE LOADS.

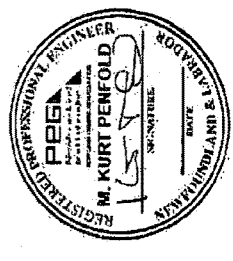


REV.	BY:	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

**eastlink**  
 SITE CODE: NLA040  
 LOCATION: McNAMARA  
 PARADISE, NL

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER



Nov 10 2016 2:47 PM

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DRAWING NO. 121255.319.0302

CUSTOMER: EASTLINK  
 SITE: McNAMARA  
 SCALE: 20.00C

DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA

TITLE: Tx-LINE LAYOUT

NOTES:

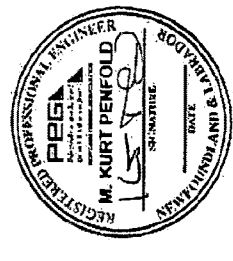
REV:	BY:	DESCRIPTION	DATE
A	MP	ISSUE FOR CONSTRUCTION 03 NOV 16	
	PS		

ITEM No.	ANTENNA				Tx. LINE		SITE SPECIFIC INFORMATION					
	QTY.	MAKE AND MODEL OF ANTENNA	ELEVATION (ft.)	ELEVATION (m)	AZIMUTH (°TN)	DOWN TILT M/EC	STATUS	QTY.	DESCRIPTION	OWNER	POLORIZATION	TIE-IN SITE
1	2	KRE 800 10504			0	0/2	INITIAL					
2	2	KRE 800 10504			120	0/5	INITIAL					
3	2	KRE 800 10504			240	0/4	INITIAL					
4	2	A704516R0	196.9	60.0	0	2/2	INITIAL	6	DC CABLE	EASTLINK	N/A	N/A
5	2	A704516R0			120	2/3	INITIAL	9	FO			
6	2	A704516R0			240	2/2	INITIAL					
7	3	RRUS32			N/A	N/A	INITIAL					
8	3	RRUS11B13			N/A	N/A	INITIAL					
9	1	HP4	154.2	47.0	327	-	INITIAL	1	LDF4P-50A	EASTLINK	TBD	TBD

**eastlink**  
 SITE CODE: NL0404  
 LOCATION: McNAMARA PARADISE, NL

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER



Nov 10 2016 2:47 PM

**Trylon**

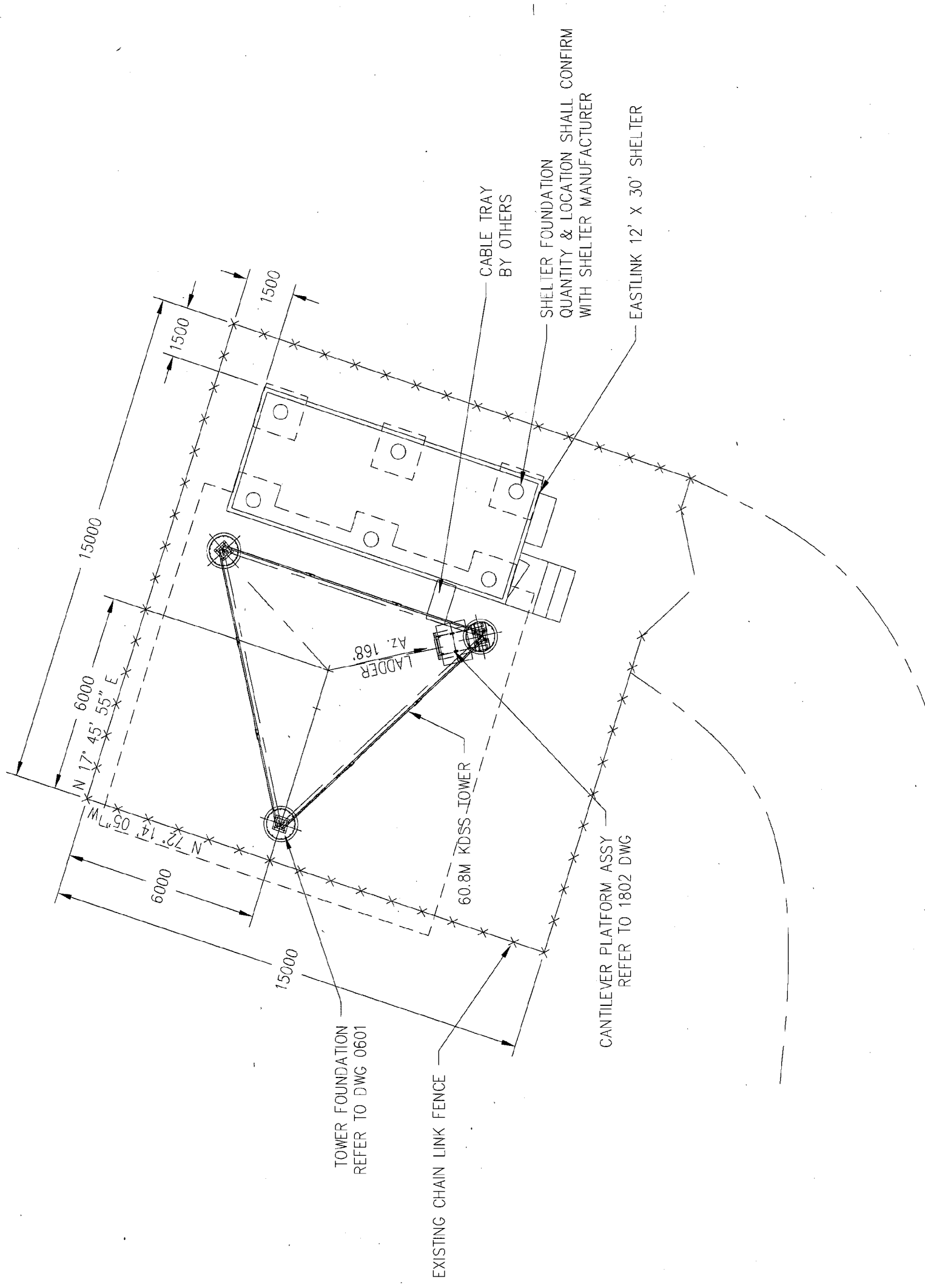
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DRAWING NO: 121255.319.0303

CUSTOMER:	EASTLINK	SITE:	McNAMARA	SCALE:	1:000
DATE:	02 NOV 16	BY:	MP	CHK:	PS
				APP:	ZA

TITLE: ANTENNA LOADING CHART

NOTES:



REV.	BY:	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16
B	PS	MAW	ADDED FOUNDATION	30 NOV 16

**eastlink**  
 SITE CODE: NLAD40  
 LOCATION: McNAMARA  
 PARADISE, NL

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER
0601	
1802	



Nov 30 2016 3:47 PM  
 GSign

**Trylon**

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DRAWING NO. 121255.319.0401

CUSTOMER: EASTLINK  
 SITE: McNAMARA  
 SCALE: 1:40,000

DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA

TITLE: COMPOUND LAYOUT

NOTES: 1) ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE.

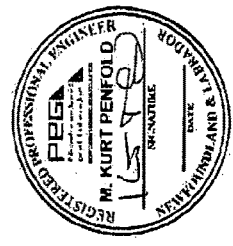


REV	BY	CHK	DESCRIPTION	DATE
A	PS	MAW	ISSUE FOR CONSTRUCTION	28 NOV 16

**eastlink**  
 SITE CODE: NLAD40  
 LOCATION: McNAMARA  
 PARADISE, NJ

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER
0401	
0602	
0605	



Nov 30 2016 3:47 PM  
 GSDign

**Trylon**

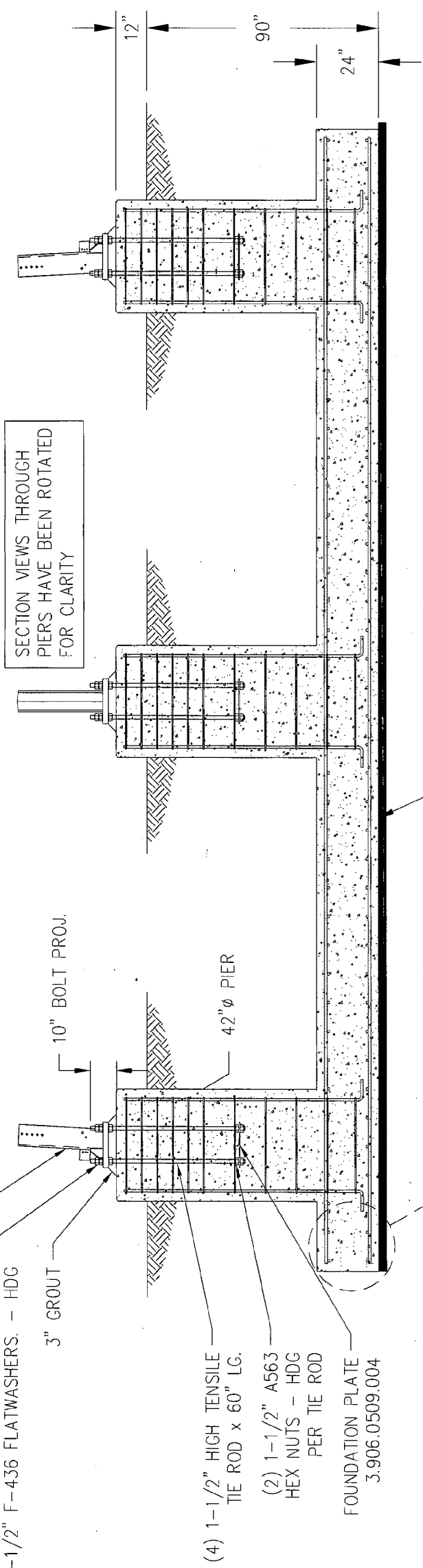
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DRAWING NO.: 121255.319.0601

CUSTOMER: EASTLINK  
 SITE: McNAMARA  
 SCALE: 50:000

DATE: 28 NOV 16  
 BY: PS  
 CHK: MAW  
 APP: ZA

TOWER FOUNDATION



SECTION VIEWS THROUGH PIERS HAVE BEEN ROTATED FOR CLARITY

WHEN GROUND BELOW FND IS SATURATED, MIN OF 3" THK. (5MPa LEAN-MIX OR CRUSHED STONES) WORKING-BASE IS RECOMMENDED.

**BASE FOUNDATION**  
 (1) REQUIRED

MAINTAIN A CLEAR SEPARATION OF MIN. 14.1" BETWEEN FACES OF TOP/BOTTOM MESH BAR LAYERS

**BASE FOUNDATION RE-BAR/TIE SCHEDULE**

PIER DETAILS (SEE NOTE #1)				PAD DETAILS		
QTY	SIZE	TYPE	SPACING	QTY	SIZE	SPACING
18	25M	—	EQUAL	40	25M	*
6	10M	○	6"			
5	10M	○	12"			

NOTES:

- PIER RE-BAR QUANTITIES LISTED REPRESENTS THE QUANTITY FOR ONE PIER ONLY.
- \* - 160 BARS REQUIRED IN TOTAL, EQUALLY SPACED EACH WAY, TOP & BOTTOM, APPROXIMATE SPACING IS 11".
- REFER TO REBAR DRAWING 121255.319.0604 FOR CUTTING LENGTHS AND FABRICATION DETAILS.

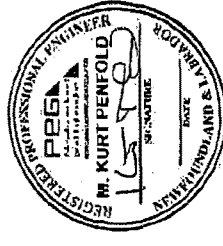
- NOTES: 1) THE FOUNDATIONS SHALL BE INSPECTED AT ALL CRITICAL STAGES OF THE WORK BY AN ENGINEER OR A QUALIFIED PERSON REPORTING TO THE ENGINEER.  
 2) REFER TO 0602 FOR FOUNDATION PLAN VIEW.  
 3) REFER TO 0605 DWG FOR FOUNDATION NOTES.

REV.	BY:	CHK.	DESCRIPTION	DATE
A	PS	MAW	ISSUE FOR CONSTRUCTION	28 NOV 16

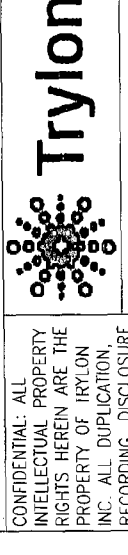
**eastlink**  
 SITE CODE: N/A040  
 LOCATION: MCNAMARA  
 PARADISE, N.L.

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER
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0601	



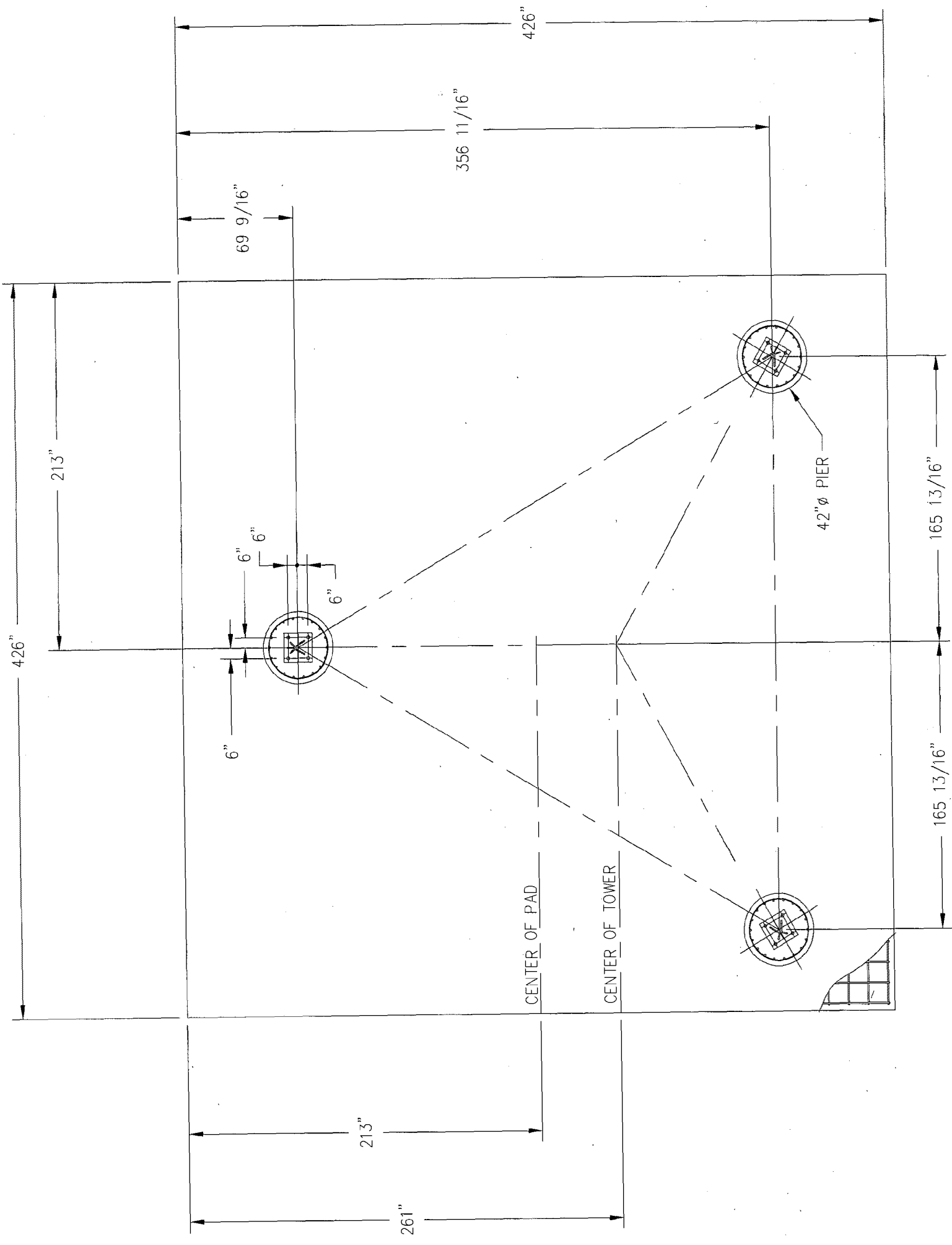
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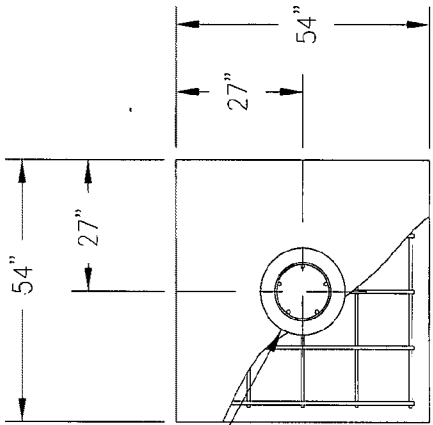
CUSTOMER:	EASTLINK	SITE:	MCNAMARA	SCALE:	70:000
DATE:	28 NOV 16	DY:	PS	CHK:	MAW
				APP:	ZA

TITLE:  
 TOWER FOUNDATION

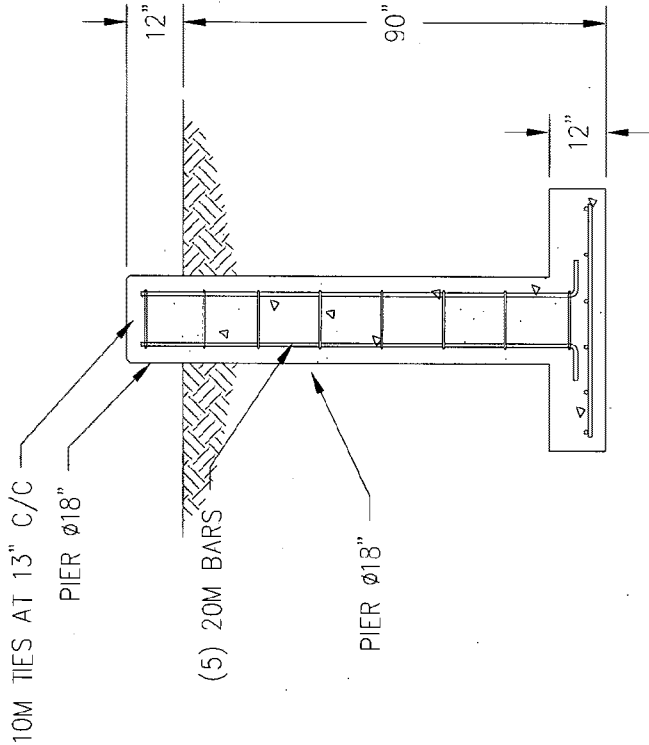


BASE FOUNDATION PLAN VIEW

NOTES:



PIER  $\phi 18"$



10M TIES AT 13" C/C

PIER  $\phi 18"$

(5) 20M BARS

PIER  $\phi 18"$

SHELTER FOUNDATION

QUANTITY: TBD

BASE FOUNDATION RE-BAR/TIE SCHEDULE						
PIER DETAILS			PAD DETAILS			
QTY	SIZE	TYPE	SPACING	QTY	SIZE	TYPE
5	20M	—	EQUAL	6	20M	—
8	10M	○	12"			

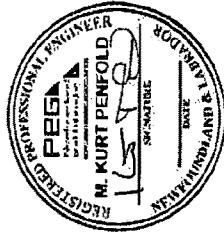
NOTES:

- 1) QUANTITIES LISTED REPRESENTS THE QUANTITY FOR ONE FOUNDATION ONLY.
- 2) \* - 12 BARS REQUIRED IN TOTAL, EQUALLY SPACED EACH WAY, APPROXIMATE SPACING IS 10".
- 3) REFER TO REBAR DRAWING 121255.319.0604 FOR CUTTING LENGTHS AND FABRICATION DETAILS.

REV.	BY:	CHK.	DESCRIPTION	DATE
A	PS	MAW	ISSUE FOR CONSTRUCTION	30 NOV 16

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 PARADISE, NL

REFERENCE	DRAWINGS:
DRAWING NUMBER	DRAWING NUMBER
0401	
0604	
0605	



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		APP:			ZA

FOUNDATION SHOULD BE VERIFIED BY WGB SUPPLIER

- NOTES: 1) REFER TO 0401 DWG FOR PIER LOCATIONS;  
 2) REFER TO 0605 DWG FOR FOUNDATION NOTES.  
 3) THE FOUNDATIONS SHALL BE INSPECTED AT ALL CRITICAL STAGES OF THE WORK BY AN ENGINEER OR A QUALIFIED PERSON REPORTING TO THE ENGINEER.

TITLE: SHELTER FOUNDATION

BAR LIST FOR REINFORCING STEEL

BAR LOCATION	BAR SIZE	TYPE	TOTAL LENGTH OF BAR (inch)	BENDING DIAGRAM		QTY. REQ'D	TOTAL BAR WT.
				DIM. 'A'	DIM. 'B'		
TOWER	25M	'C' SHAPE	107-1/2"	94"		54	1292
SHELTER	20M	BENT	104-5/8"	94-1/2"		30	393
TOWER	10M	TIE	119-1/2"	36"		33	220
SHELTER	10M	TIE	44-1/8"	12"		48	118
		STIRRUP					
TOWER	25M	STRAIGHT	420"			160	14952
SHELTER	20M	STRAIGHT	48"			72	433
		STRAIGHT					
		STRAIGHT					
TOTAL BAR WEIGHT (lbs)							17408
METRIC & IMPERIAL SIZES & WEIGHTS							
METRIC WT. (kg/M)	IMPERIAL	WT. (lbs/ft)					
10M	#4	0.668					
15M	#5	1.043					
20M	#6	1.502					
25M	#8	2.670					
30M	#10	4.303					
35M	#11	5.313					

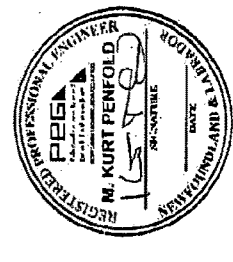
IMPORTANT NOTES:  
SHELTER FOUNDATION REBAR  
CALCULATED BASED ON (6) PIER &  
PAD FOUNDATION.

NOTES: 1) REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING WITH CSA STANDARD G30.18-M92 GR 400.  
2) REJECT BARS WITH KINKS OR BENDS NOT SHOWN ON THIS DRAWING.

REV.	BY:	CHK.	DESCRIPTION	DATE
A	PS	MAW	ISSUE FOR CONSTRUCTION	30 NOV 16

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121255.319.0604

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EASTLINK

SITE:  
McNAMARA

SCALE:  
1:000

DATE:  
30 NOV 16

BY:  
PS

CHK:  
MAW

APP:  
ZA

TITLE:  
REBAR CHART

FOUNDATION NOTES:

GENERAL:

- 1) THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH THE WORK.
- 2) ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF CSA STANDARDS.
- 3) FOUNDATIONS DESIGNED IN ACCORDANCE WITH  
COMPANY NAME: STANTEC [DRAFT (1) BOREHOLE]  
SOILS REPORT: 121619877  
DATE: 17-NOV-2016
- 4) THE TOWER BASE PAD SHALL BE PLACED AGAINST UNDISTURBED SOIL.
- 5) ALL GALVANIZED STEEL IN CONTACT WITH SOIL IS TO BE COATED WITH ROOF PAICH.

INSPECTION:

- 1) THE FOUNDATIONS AND ANCHORAGES SHALL BE INSPECTED AT ALL CRITICAL STAGES OF THE WORK BY AN ENGINEER OR A QUALIFIED PERSON REPORTING TO THE ENGINEER.

CONCRETE:

- 1) CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD A23.1, A23.2 AND A23.3.
- 2) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF NOT LESS THAN 30 MPa.
- 3) CONCRETE SHALL CONTAIN AN AIR ENTRAINING AGENT. TOTAL AIR CONTENT TO BE 5% TO 7% AS SPECIFIED IN CSA STANDARD A23, FOR THE PARTICULAR SIZE OF AGGREGATE BEING USED. THE AIR ENTRAINING AGENT SHALL BE COMPATIBLE WITH THE WATER REDUCING AGENT.
- 4) THE MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 19 mm.
- 5) THE USE OF CALCIUM CHLORIDE OR ACCELERATING ADMIXTURES IS PROHIBITED.
- 6) SLUMP SHALL BE 75 mm +/- 25 mm.
- 7) IF THE AIR TEMPERATURE IS 5 DEGREES C OR LESS, THE TEMPERATURE OF THE CONCRETE AT TIME OF PLACING, SHALL BE BETWEEN 15 AND 30 DEGREES C.
- 8) CHAMFER EXPOSED CORNERS OF CONCRETE (APPROX 20 mm).
- 9) PROVIDE EFFECTIVE MEANS OF MAINTAINING THE TEMPERATURE OF CONCRETE IN PLACE AT A MINIMUM OF 10 DEGREES C AND A MAXIMUM OF 30 DEGREES C FOR THREE DAYS AFTER PLACING. WHEN THE MEAN DAILY AIR TEMPERATURE IS LESS THAN 5 DEGREES C PROVIDE PROTECTION FOR NEWLY PLACED CONCRETE BY MEANS OF SUITABLE ENCLOSURES OR RAISED COVERINGS, HEAT AND INSULATION.
- 10) ALL GROUT SHALL BE NON-FERROUS AND NON SHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 48 MPa AT 28 DAYS. EDGES GROUT SHALL BE TAPERED OFF AT 45°.
- 11) ALL CONCRETE TO BE TYPE 10 NORMAL PORTLAND CEMENT.

REINFORCEMENT:

- 1) CLEAN REINFORCEMENT OF ANY LOOSE SCALE, DIRT OR OTHER COATINGS WHICH WOULD DESTROY OR REDUCE BONDING. REJECT BARS WITH KINKS OR BENDS NOT SHOWN ON FOUNDATION DRAWINGS.
- 2) ALL REINFORCEMENT SHALL HAVE A MINIMUM OF 75 mm CLEAR CONCRETE COVER UNLESS OTHERWISE APPROVED BY TRYLON.
- 3) REINFORCING STEEL SHALL BE DEFORMED GR. 400 BARS CONFORMING WITH CSA STANDARD G30.18-09.

BACKFILLING:

- 1) BACKFILL SHALL BE PLACED IN THIN LIFTS (MAXIMUM 150 mm) AND COMPACTED TO A MINIMUM OF 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY. IN THE EVENT THAT EXCAVATED MATERIALS ARE NOT SUITABLE FOR BACKFILL, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY AND COMPACT SUITABLE CLEAN MATERIAL TO MEET THAT REQUIREMENT.

CSA STANDARDS:

- 1) FOUNDATIONS AND ANCHORS DESIGNED IN ACCORDANCE WITH CSA-S37-13.
- 2) REINFORCED CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CSA STANDARD A23.1, A23.2 AND A23.3.

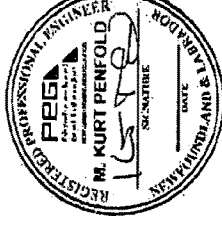
REV.	BY:	CHK.	DESCRIPTION	DATE
A	PS	MAW	ISSUE FOR CONSTRUCTION	30 NOV 16

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LOCATION: McNAMARA  
PARADISE, NL

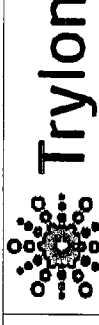
REFERENCE DRAWINGS:

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121255.319.0605

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				APP:	ZA

TITLE:

FOUNDATION NOTES

NOTES:

REV.	BY:	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

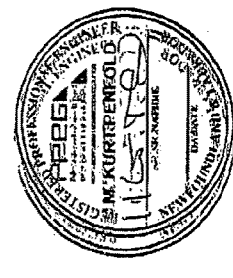
SECTION: 28' -0"  
LEG: V 8" x 8" x 5/8"

**eastlink**

SITE CODE: NL0400  
LOCATION: McNAMARA  
PARADISE, NL

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER



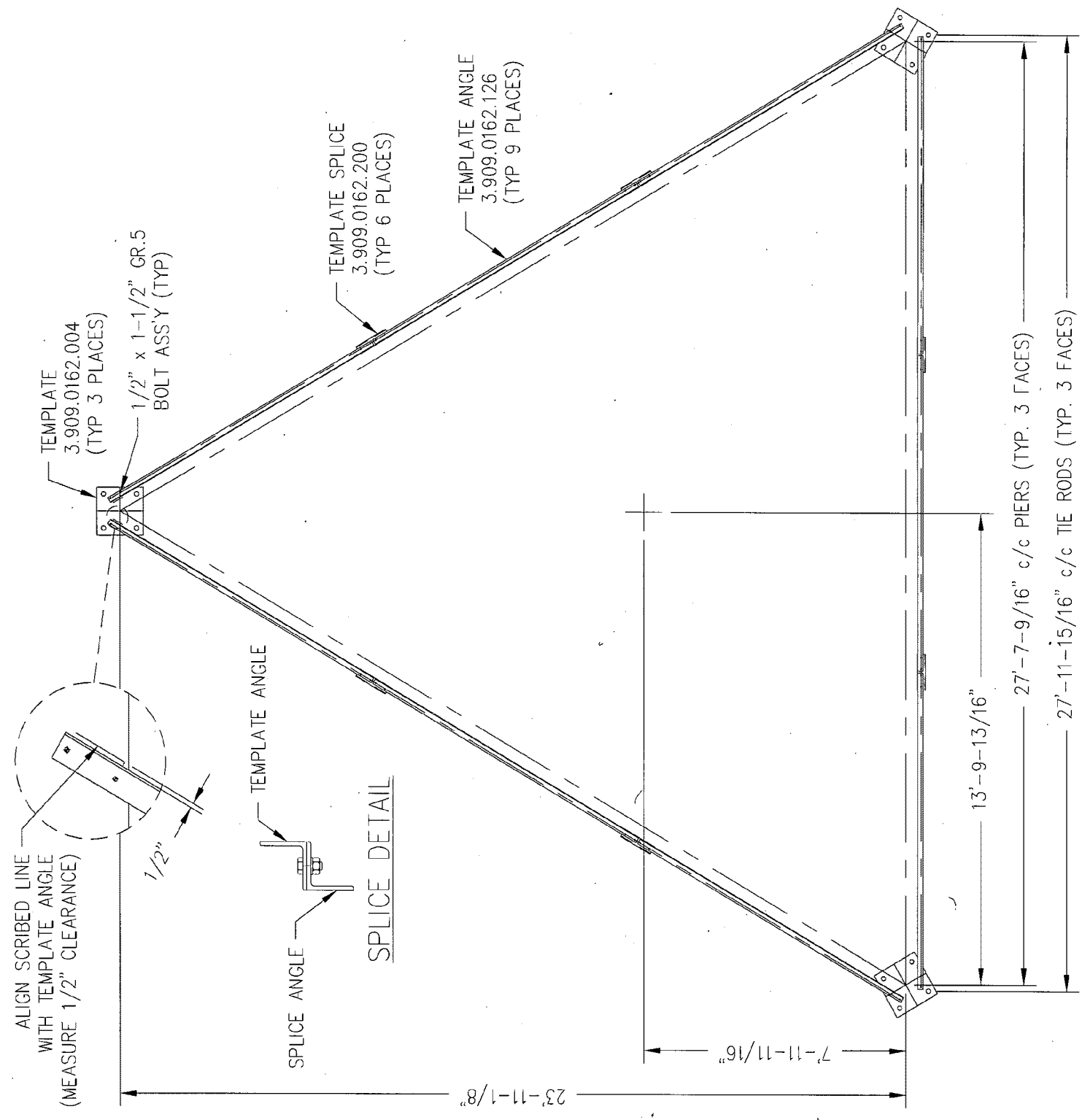
New 3D/2D/12M Design

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CUSTOMER: EASTLINK	SITE: McNAMARA	SCALE: 1/50,000
DATE: 02 NOV 16	BY: MP	CHK: PS
TITLE: TEMPLATE ASSEMBLY	APP: ZA	



NOTES: 1) FOUNDATION CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO POURING CONCRETE.

REV.	BY:	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

**eastlink**  
 SITE CODE: NL0404  
 LOCATION: McNAMARA PARADISE, NL

REFERENCE DRAWINGS:

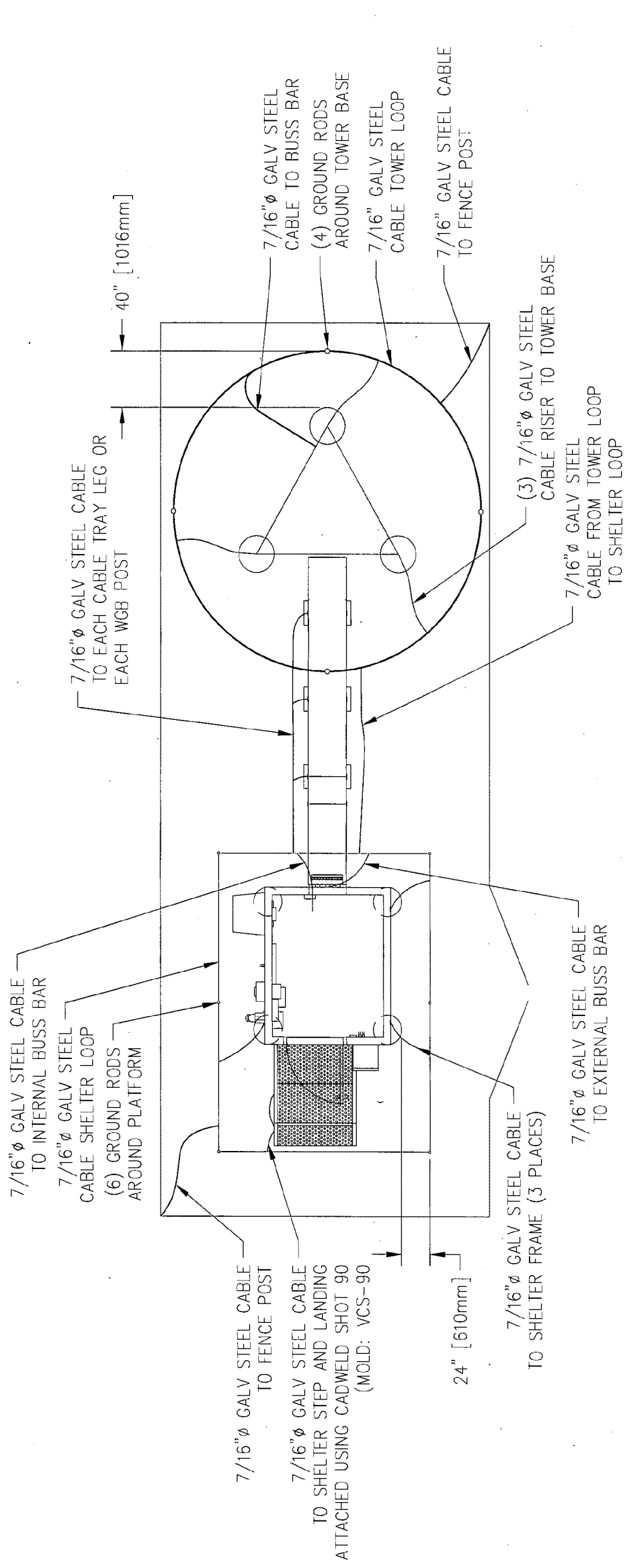
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1202	
1203	
1204	
1205	
1206	
1207	

**Trylon**

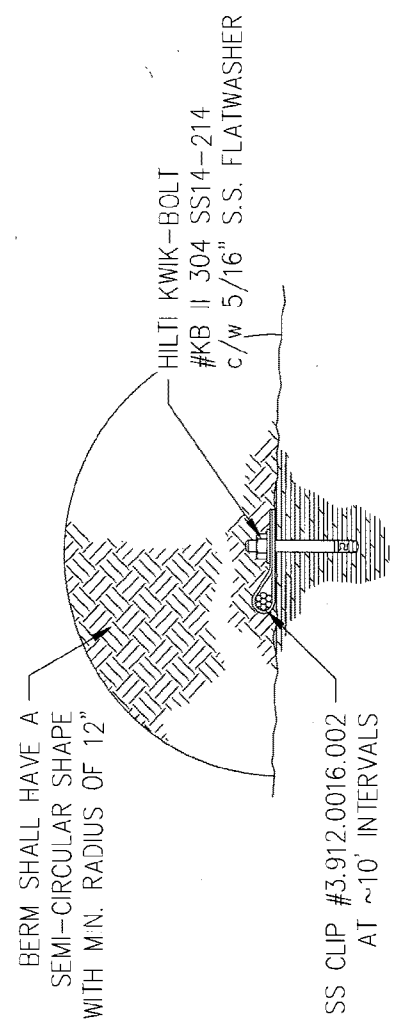
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 DRAWING NO. 121255.319.1201  
 SCALE: 40,000

DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA  
 TITLE: GROUNDING NOTES



COMPOUND PLAN VIEW



BARE ROCK CONNECTION

- NOTES:
- 1) REFER TO DWG 1202 FOR TOWER ELEVATION VIEW.
  - 2) REFER TO DWG 1203 FOR GENERAL GROUNDING DETAILS
  - 3) REFER TO DWG 1204 FOR GROUNDING NOTES.
  - 4) INSTALL A LIGHTNING ROD AT THE TOP OF THE TOWER. REFER TO DWG 1206.
  - 5) INSTALL A BUSS BAR AT THE BASE AND TOP OF THE TOWER AND AT EACH ANTENNA LEVEL. REFER TO DWG 1207.

REV.	BY: REV.	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

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 LOCATION: McNAMARA  
 PARADISE, NL

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER
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1204	

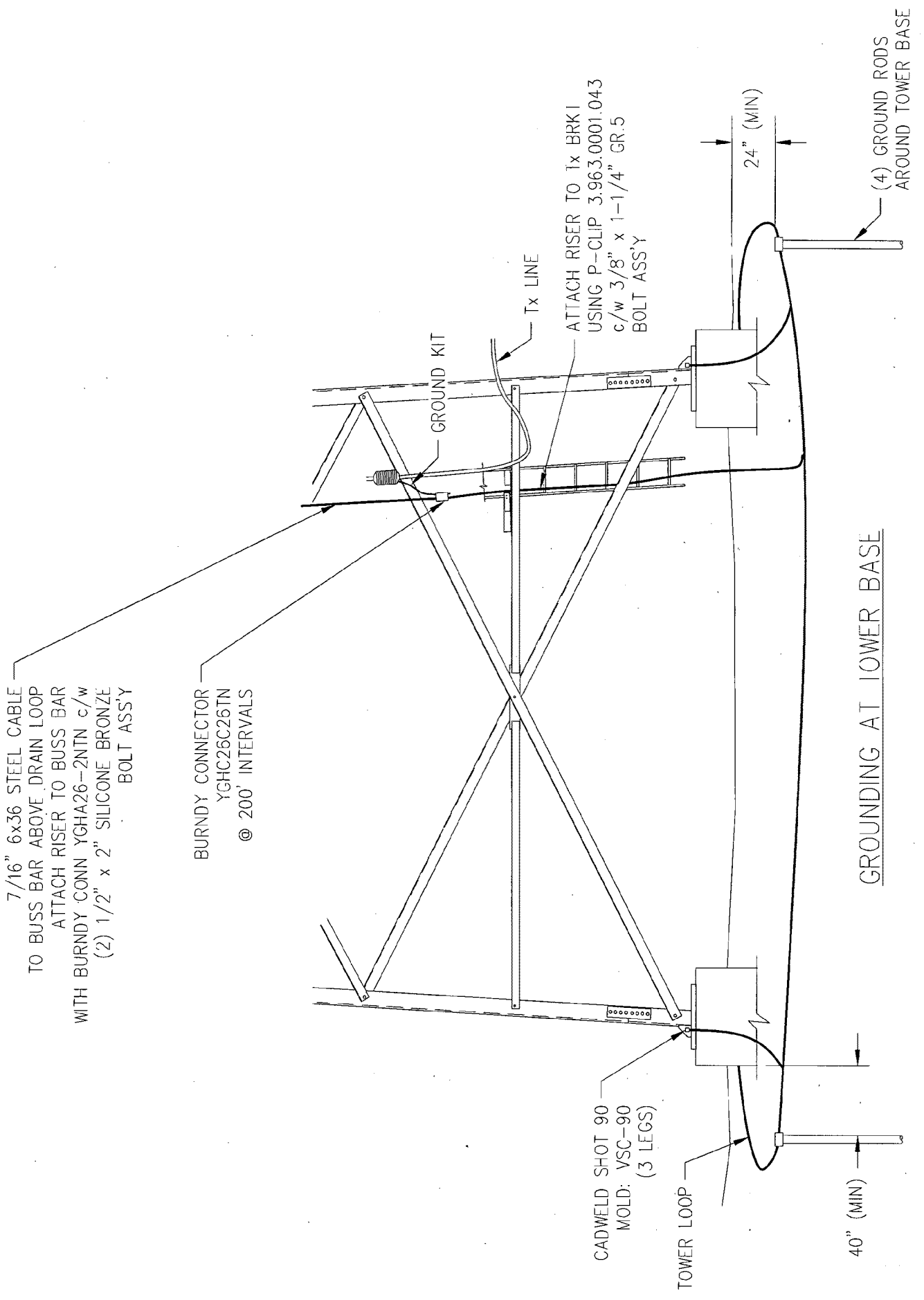
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 SCALE: 40,000

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DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA

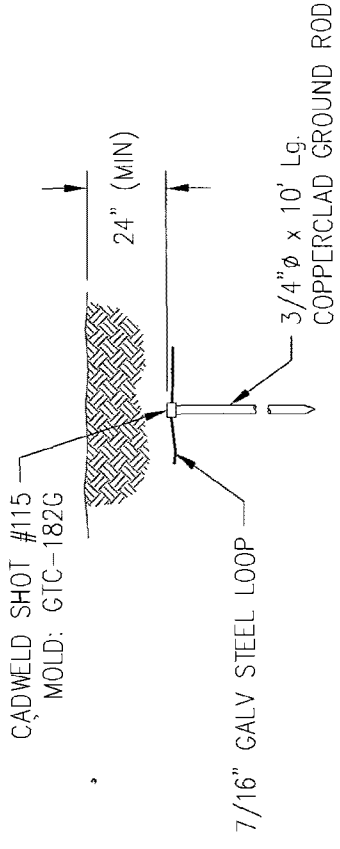


GROUNDING AT LOWER BASE

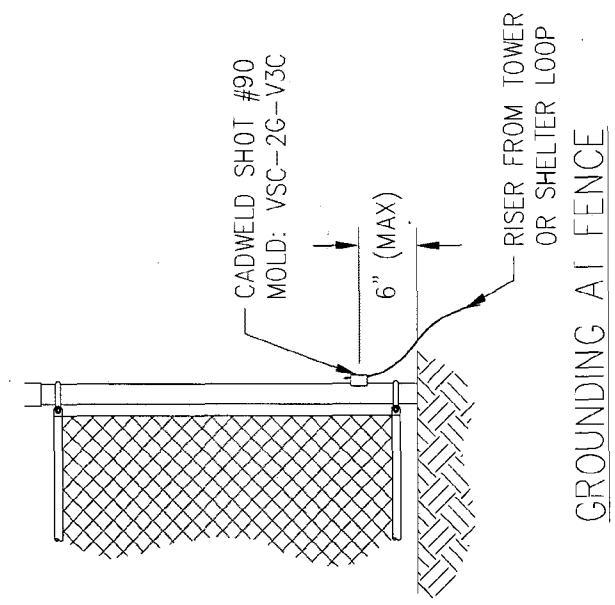
- NOTES:
- 1) REFER TO DWG. 1203 FOR GENERAL GROUNDING DETAILS.
  - 2) REFER TO DWG 1204 FOR GROUNDING NOTES.

TITLE: GROUNDING NOTES

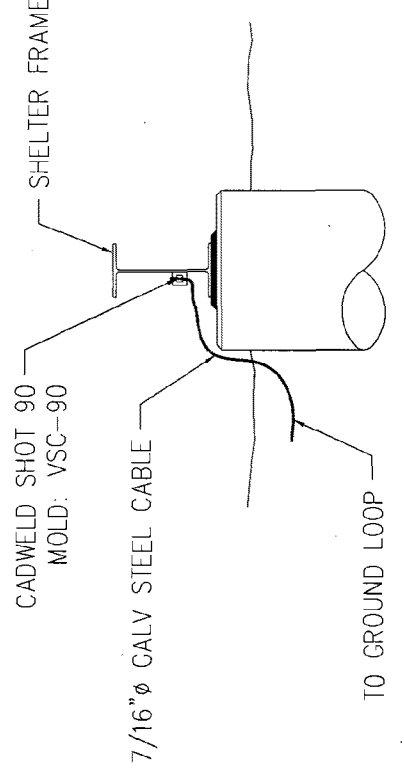




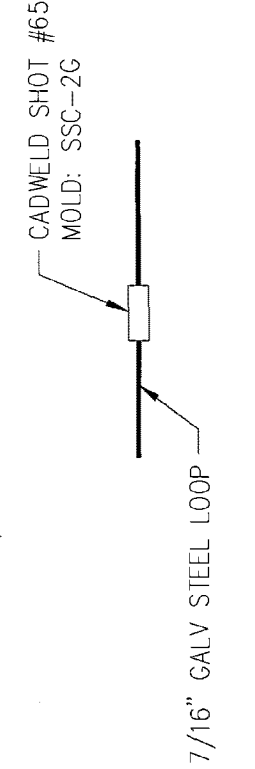
GROUND ROD DETAIL



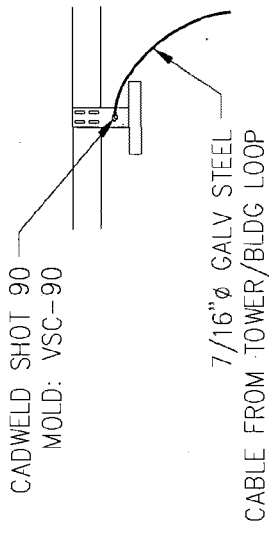
GROUNDING AT FENCE



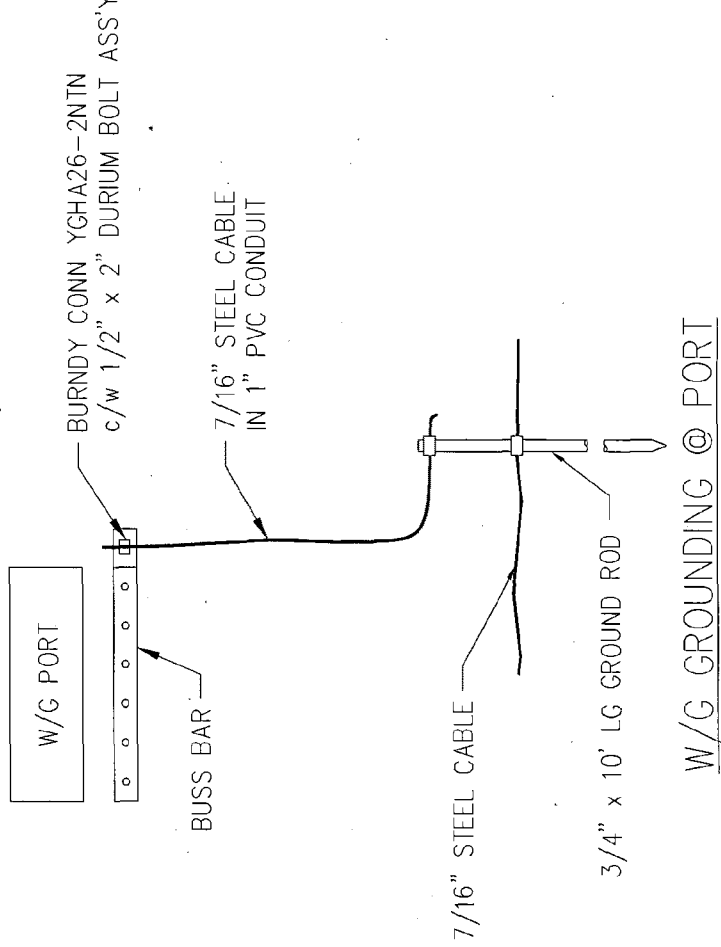
TYPICAL SHELTER FRAME GROUNDING



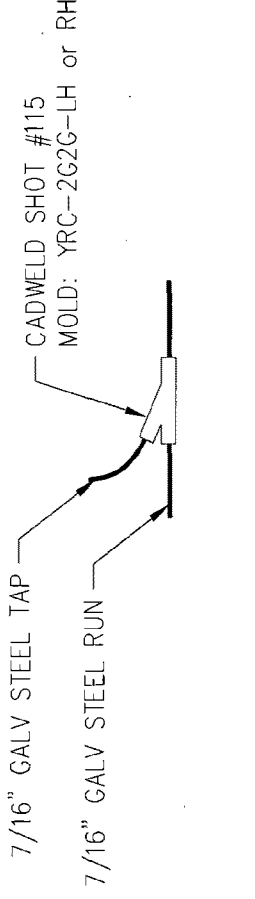
WIRE TO WIRE SPLICE



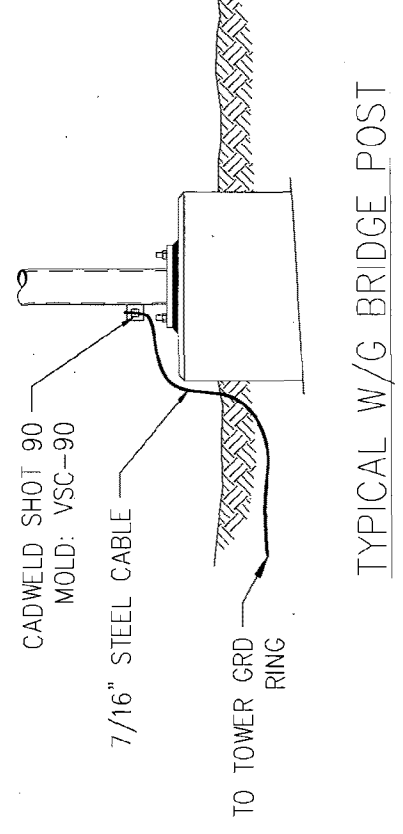
GROUNDING AT CABLE TRAY



W/G GROUNDING @ PORT



WIRE TO WIRE CONNECTION



TYPICAL W/G BRIDGE POST

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A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

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 SITE CODE: NLA040  
 LOCATION: MCNAMARA  
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 SITE: McNAMARA  
 SCALE: 40,000  
 DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA  
 TITLE: GROUNDING DETAILS

NOTES: 1) REFER TO DWG 1204 FOR GROUNDING NOTES.

**NOTES:**

- 1) ALL ABOVE AND BELOW GRADE GROUND WIRE TO BE 7/16" STEEL GALV CABLE.
- 2) ALL GROUND RODS TO BE 'COPPERCLAD' 3/4" DIA x 10 FEET LONG.
- 3) TOP OF LIGHTNING ROD MUST BE MINIMUM 40" ABOVE TOWER INCLUDING ANTENNAS.
- 4) AT GROUND LEVEL, ALL GROUNDING WIRES MUST BE BURIED MINIMUM 24" BELOW FINISHED GRADE.
- 5) ALL LOOPS (PERIPHERAL CONDUCTOR) MUST FORM A CLOSED CIRCLE.
- 6) ALL BELOW GRADE WIRE MUST BE A MIN. OF 40" AWAY FROM ANY TOWER FOUNDATION ELEMENT AND 24" AWAY FROM ANY SHELTER FOUNDATION ELEMENT.
- 7) ALL GROUNDING CONNECTIONS ARE TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES.
- 8) IDEAL SITE GROUNDING SYSTEM RESISTANCE IS BETWEEN= 5 OHMS (MAXIMUM = 25 OHMS).
- 9) GROUNDING WIRE INSTALLED OVER NATURALLY EXPOSED BEDROCK MUST BE FIRMLY CLAMPED ONTO THE ROCK AT 10 FT SPACING AND COVERED WITH A BERM OF LOAMY SOIL SEMI-CIRCULAR IN SHAPE WITH A MINIMUM RADIUS OF 12" WHICH IS IN TURN COVERED WITH STONES OR BLOCKS.
- 10) GROUNDING WIRES MUST ALWAYS BE CONTINUOUS AND TRAVEL IN A 'DOWNWARD' DIRECTION FREE FROM SHARP BENDS OR SUDDEN CHANGES IN DIRECTION. BENDS SHALL NOT BE LESS THAN 90 DEGREES.
- 11) ALL GROUND WIRES GOING INTO OR OUT OF THE SHELTER SHOULD GO THROUGH PLASTIC PIPE.
- 12) NUMBER AND LOCATION OF W/G BRIDGE POSTS MAY VARY.
- 13) GROUND RODS MUST BE INSTALLED VERTICALLY TO SUCH A DEPTH THAT THE TOP OF GROUNDING ROD IS MINIMUM 610mm BELOW FINISHED GRADE. GROUNDING RODS MAY BE INCLINED UP TO 20 DEGREES FROM VERTICAL ONLY IF SUCH A DEPTH CANNOT BE ACHIEVED DUE TO THE PRESENCE OF BEDROCK. GROUNDING RODS MUST NOT BE INSTALLED AT LOCATIONS WHERE THE BEDROCK IS LESS THAN 300mm BELOW THE FINISHED GRADE UNLESS VERTICAL HOLES OF 75mm MINIMUM DIAMETER ARE DRILLED INTO THE BEDROCK TO A MINIMUM DEPTH OF 3m, HOLES CLEANED OUT WITH COMPRESSED AIR, A GROUND ROD PLACED IN THE CENTRE OF THE HOLES WITH THE AID OF A SPACER TO KEEP IT CENTERED AND HOLES FILLED WITH A GROUND ENHANCEMENT MATERIAL SUCH AS "GEM" BY ERICO OR "CONDUCRETE" BY SAE INC. OF BARRIE, ONT. AS PER MANUFACTURER'S INSTRUCTIONS.

NOTES:

REV.	BY:	CHK.	DESCRIPTION	DATE
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121255.319.1204

CUSTOMER:	EASTLINK	SITE:	McNAMARA	SCALE:	1:000
DATE:	02 NOV 16	BY:	MP	CHK:	PS
		APP:	ZA		

TITLE: GROUNDING NOTES

REV.	BY:	CHK.	DESCRIPTION	DATE
A	MP	PS	ISSUE FOR CONSTRUCTION	03 NOV 16

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 SITE CODE: N1A040  
 LOCATION: McNAMARA PARADISE, NL

REFERENCE	DRAWINGS:
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 CUSTOMER: EASTLINK  
 SITE: McNAMARA  
 SCALE: 1:000  
 DATE: 02 NOV 16  
 BY: MP  
 CHK: PS  
 APP: ZA  
 TITLE: GROUND WIRE CUTTING CHART

LOCATION	FORMULA	LENGTH
TOWER LOOP	SEE CHART BELOW	SEE CHART
SHELTER LOOP	BASED ON ARCTIC 6'-8" x 8'-0" SHELTER	59'
TOWER LOOP TO SHELTER LOOP	(30')	30'
TOWER LEAD	15' x 3 LOCATIONS	45'
WGB/CABLE TRAY LEAD	15' x 3 LOCATION (ASSUMED 20' WGB)	45'
FENCE LEAD	30' x 2 LOCATIONS	60'
SHELTER FRAME	20' x 3 LOCATIONS	60'
SHELTER BUSS BAR	EXT. 20' x 1 LOCATION INT. 20' x 1 LOCATIONS	40'
SHELTER STEP	20'	20'
SUB TOTAL		SEE CHART
GRAND TOTAL (ADD 5% TO SUB TOTAL)		SEE CHART

LOCATION	FORMULA	LENGTH OF 7/16" GALV	
		TOWER LOOP	GRAND TOTAL
TOWER LOOP (KDSS 32' H/H TO 24' H/H)	((PIER Ø + 10') x 3.1415) + (FACE WIDTH x 3)	140'	524' [160m]
TOWER LOOP (KDSS 24' H/H TO 16' H/H)	((PIER Ø + 10') x 3.1415) + (FACE WIDTH x 3)	116'	499' [152m]
TOWER LOOP (KDSS 16' H/H TO 6' H/H)	((PIER Ø + 10') x 3.1415) + (FACE WIDTH x 3)	92'	474' [145m]
MONOPOLE (BASED ON 84"Ø PIER)	((PIER Ø + 10') x 3.1415)	54'	434' [132m]

PIER DIAMETER FOR KDSS BASED ON 48"Ø PIER

NOTES:

## Keith Saunders

---

**From:** Keith Saunders  
**Sent:** August-25-16 5:50 PM  
**To:** Logan McDaid  
**Cc:** Tammy Fidler  
**Subject:** Grading Plan - 117 McNamara Drive

Hi Logan

Prior to a building permit being issued, the Engineering department does requires a site grading plan. The existing grading plan for the property does not show how the location of the cell tower will be finished.

This plan must be signed and stamped by an engineer licensed to practice in Newfoundland.

The plan must show how the existing site will be finished, showing grades and slopes. Our landscaping policy requires that all slopes must be 2H:1V and landscaped.

You can submit electronically to me.

**C. Keith Saunders**  
**Planning Technician**



P: 709.782.3534 F: 709.782.3603  
[ksaunders@townofparadise.ca](mailto:ksaunders@townofparadise.ca)  
[www.townofparadise.ca](http://www.townofparadise.ca)



Please consider whether it is necessary to print this email

**Keith Saunders**

---

**From:** Keith Saunders  
**Sent:** August-23-16 4:52 PM  
**To:** Logan McDaid  
**Cc:** Tammy Fidler  
**Subject:** Cell Tower

Hi Logan

The cell tower location at 117 McNamara Drive has been granted discretionary use approval.

Looking at the site plan, I see that you will also need to get approval from the owner of the existing transmission line easement, which I assume is NL Power.

You will need to apply for a building permit.


The building department will require an engineered set of plans for the support building, and certification of the tower design and construction.

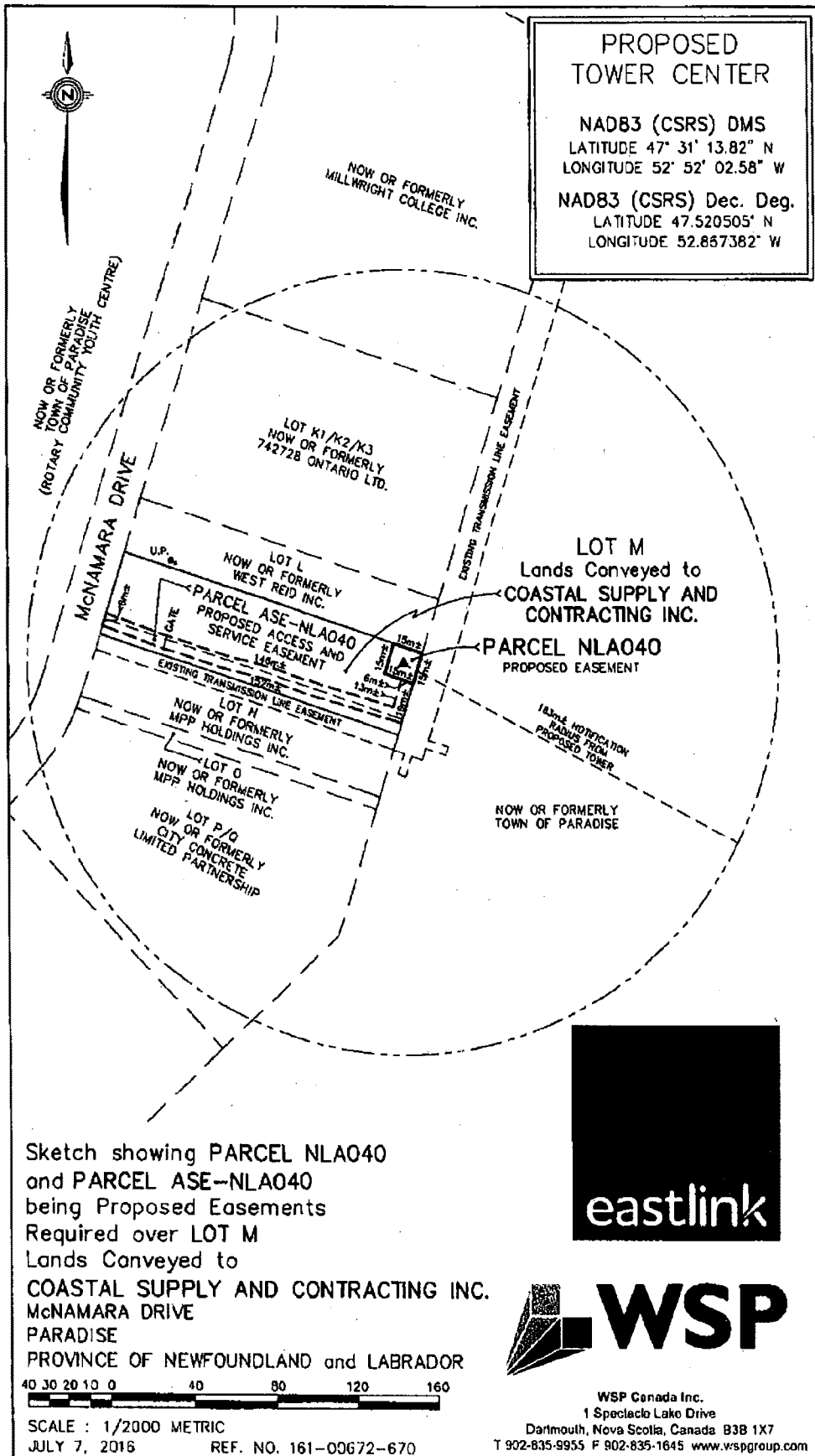
The engineering department may require more detail on the site plan. I will forward your site plan to that department for review.

**C. Keith Saunders**  
**Planning Technician**



P: 709.782.3534 F: 709.782.3603  
[ksaunders@townofparadise.ca](mailto:ksaunders@townofparadise.ca)  
[www.townofparadise.ca](http://www.townofparadise.ca)

 Please consider whether it is necessary to print this email





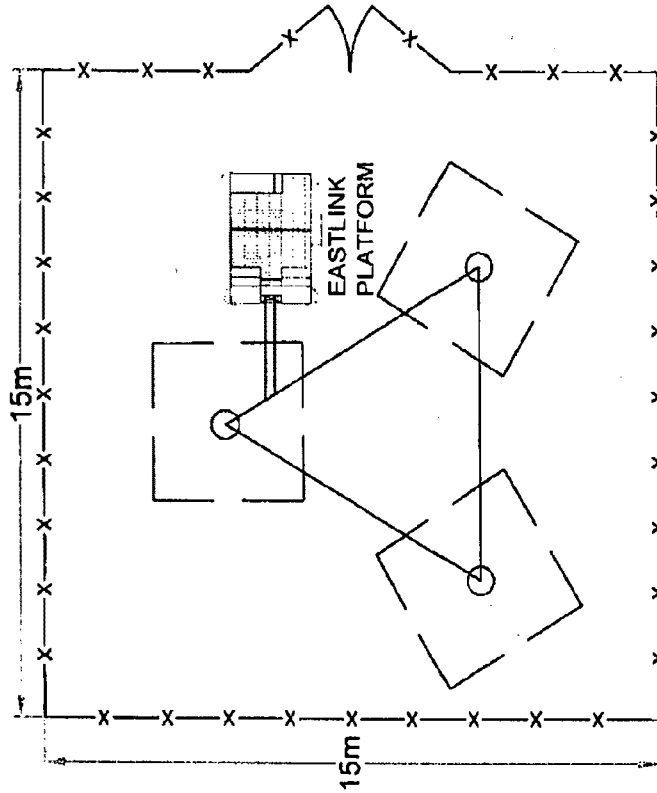
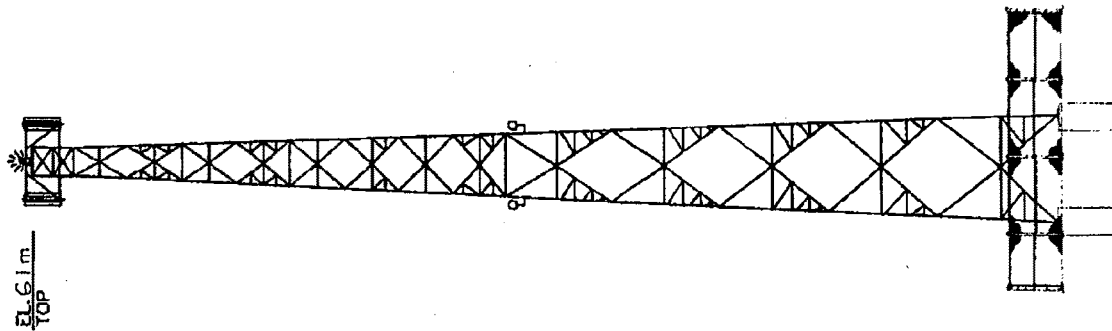
THIS DIAGRAM IS FOR INFORMATIONAL PURPOSES ONLY AND HAS NOT BEEN PREPARED FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES.

REVISIONS

NO	DATE	DESCRIPTION

PROJECT INFORMATION

TITLE:  
**61m SELF SUPPORT TOWER**  
DRAWN BY:



NOT TO SCALE



## DEVELOPMENT APPROVAL

---

Applicant: Eastlink  
C/O Logan McDavid

Date of Issue: August 22, 2016


Application #: C2016-581

Expiry Date: August 22, 2017

The Council has considered your application dated July 19, 2016 for development approval to construct a cellular tower at **117 McNamara Drive**, and hereby grants approval of the proposal, subject to the conditions attached hereto.

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT.**

**An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NF, A1B 4J6. A fee of \$230.00 (\$200.00 plus \$30.00 HST), must be remitted along with the appeal.** Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.

  
Signature of Town Clerk or  
Authorized Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**



## DEVELOPMENT REGULATIONS CONDITIONS (C2016-581)

1. With the exception of the 61 m height of the cell tower, the development must comply with the standards of the Commercial Light Industrial Use zone in the Town of Paradise Development Regulations, 2004.
2. Construction of the tower must be in accordance with the requirements of Industry Canada, the Radio Communications Act and, if applicable, the current edition of the **National Building Code of Canada**.
3. Prior to the issuance of a building/renovation permit, the applicant must submit the following:
  - 3.1 Proof of lease agreement of the amount of land/building as shown on the application.
  - 3.2 Two sets of professionally engineered building plans.
4. **The development authorized by this permit shall not be used or occupied without an Occupancy Permit from the Town of Paradise.**
5. Any placard issued by the Town of Paradise relating to the work authorized by this or any other permit must be displayed in full public view on the site.
6. This permit does not authorize the use or occupancy of Crown Land or other lands without a lease or grant from the Crown or permission of the owner.
7. The issue of this permit does not exempt the applicant from obtaining any other permits or approvals required by law.
8. Should the tower be dismantled at a future date for any reason, the Council of the Town of Paradise is to be advised a minimum of 30 days of the date the tower is to be dismantled.



Signature of Town Clerk or  
Authorized Municipal Officer

**Tammy Fidler**

---

**From:** Melanie Bartlett  
**Sent:** August-03-16 11:44 AM  
**To:** tsnews@nf.aibn.com  
**Cc:** Terrilynn Smith; Angela Hunt; Tammy Fidler  
**Subject:** Shoreline Ad  
**Attachments:** August 4 & 11, 117 McNamara Drive - Discretionary Use.doc

Hi Frank,

Please have the attached placed in this weeks, August 4, 2016 edition of the shoreline.

Please refer to PO # 48074 when billing.

Thank You,

**Melanie Bartlett**  
Acting Assistant Town Clerk



P: 709.782.3574 F: 709.782.3601  
[mbartlett@townofparadise.ca](mailto:mbartlett@townofparadise.ca)  
[www.townofparadise.ca](http://www.townofparadise.ca)

**P** Please consider whether it is necessary to print this email

\*\*\*\*\*

This e-mail message (including attachments, if any) is confidential and may be privileged. Any unauthorized distribution or disclosure is prohibited. Disclosure to anyone other than the intended recipient does not constitute waiver of privilege. If you have received this e-mail in error, please notify us and delete it and any attachments from your computer system and records.

**NOTICE OF DISCRETIONARY USE APPLICATION**

**Antenna - Cell Tower**  
**117 McNamara Drive**

The Town of Paradise has received an application for approval of a 61 meter high cell tower on a lot at 117 McNamara Drive. The subject property is located within the Commercial Light Industrial(C/LI) Use zone, where antennas are considered as a discretionary use. The site and the service will be provided by Eastlink.

This Notice of Discretionary Use is advertised in accordance with Sections 34 and 91 of the Town of Paradise Development Regulations, 2004. Any person who wishes to comment on the proposed development is asked to contact the Town of Paradise in writing by 4:00 p.m., Friday, August 19, 2016. Please submit all correspondence to:

C. Keith Saunders  
Planning Technician  
Department of Planning & Protective Services  
Telephone: (709) 782 - 3534  
Facsimile: (709) 782 - 3603  
[ksaunders@townofparadise.ca](mailto:ksaunders@townofparadise.ca)

**Tammy Fidler**

---

**To:** Melanie Bartlett  
**Cc:** Angela Hunt  
**Subject:** RE: Notice for shoreline/website - 117 McNamara Drive  
**Attachments:** 117 McNamara Drive (Discretionary Use - Cell tower) (DA14-949) - Aug 2016.doc

Good Morning Melanie , please arranged to have attached notice placed in this week edition of the Shoreline (August 4<sup>th</sup>, 2016) [For TWO weeks]  
and

Good Morning Angela, please arranged to have the attached notice placed on the town's website from Thursday August 4<sup>th</sup> to Friday August 19<sup>th</sup>, 2016

Thanks!

-Tammy

SITE: PARADISE – NLA040

Rev.0

**Site Plan Showing  
Proposed Tower Site  
Required over Lands Conveyed to  
Coastal Supply and Contracting Inc.  
within  
LOT M**

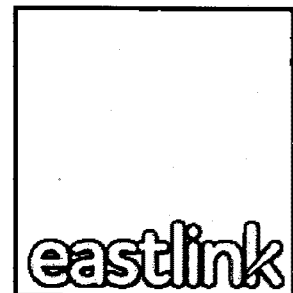
McNAMARA DRIVE, PARADISE  
PROVINCE OF NEWFOUNDLAND and LABRADOR

<b>ELEVATION (GROUND) (m)</b>	
<b>TOWER SITE CENTRE</b>	188.6±

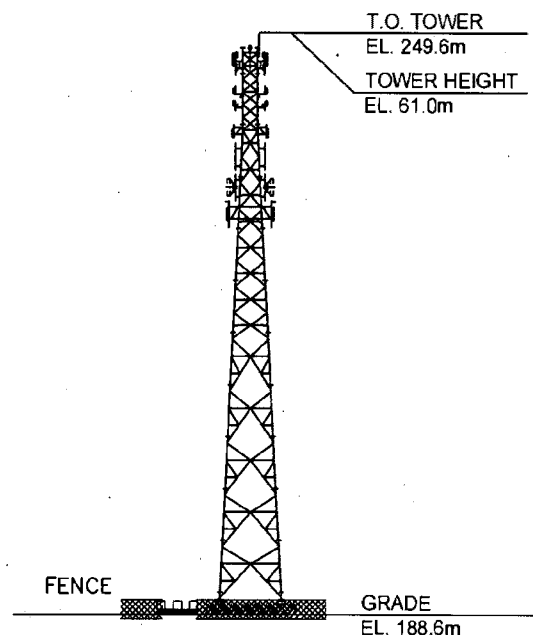
PROPOSED TOWER CENTER		
GEOGRAPHICAL (NAD83–CSRS)		NAD83 MTM ZONE 1
DECIMAL DEGREE 47.520531° N. Lat.	DEGREE MIN. SEC. 47°31'13.91" N. LAT.	5,264,599.422 N.
52.867497° W. Long.	52°52'02.99" W. LONG.	314,778.283 E.

LEASE AREA TABLE		
	ha	Ac.
LOT M		
Tower Site (Parcel NLA040)	0.023	0.06
6.1m Easement (Parcel AE-NLA040)	0.091	0.23

LEGEND			
DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
NEWFOUNDLAND CONTROL MONUMENT	△	LANDS DEALT WITH BY THIS PLAN	— OR —
IRON TUBE FOUND	○		- - - - -
SURVEY MARKER FOUND	Fd. ⊙	FOUND	Fd.
TOWER CENTRE	▲	SQUARE METRE(S)	SQ.M.
UTILITY POLE / GUY	U.P. ● →	HECTARE	ha
FENCE	— x —	NEWFOUNDLAND LAND SURVEYOR	NLS
OVERHEAD LINE(S)	-- OH -- HO --	LAND REGISTRATION OFFICE	LRO
UNDERGROUND LINE(S)	-- UG -- GN --	POINT OF CURVATURE	P.C.
CENTRELINE	— — — — —	RADIUS ; ARC ; CHORD	R ; A ; C
TREELINE	~ ~ ~ ~ ~	TOP OF SLOPE	— / — / — / —
CURB	= = = = =	BOTTOM OF SLOPE	— \ — \ — \ — \



**DETAIL**  
NOT TO SCALE  
CONCEPTUAL ELEVATION VIEW

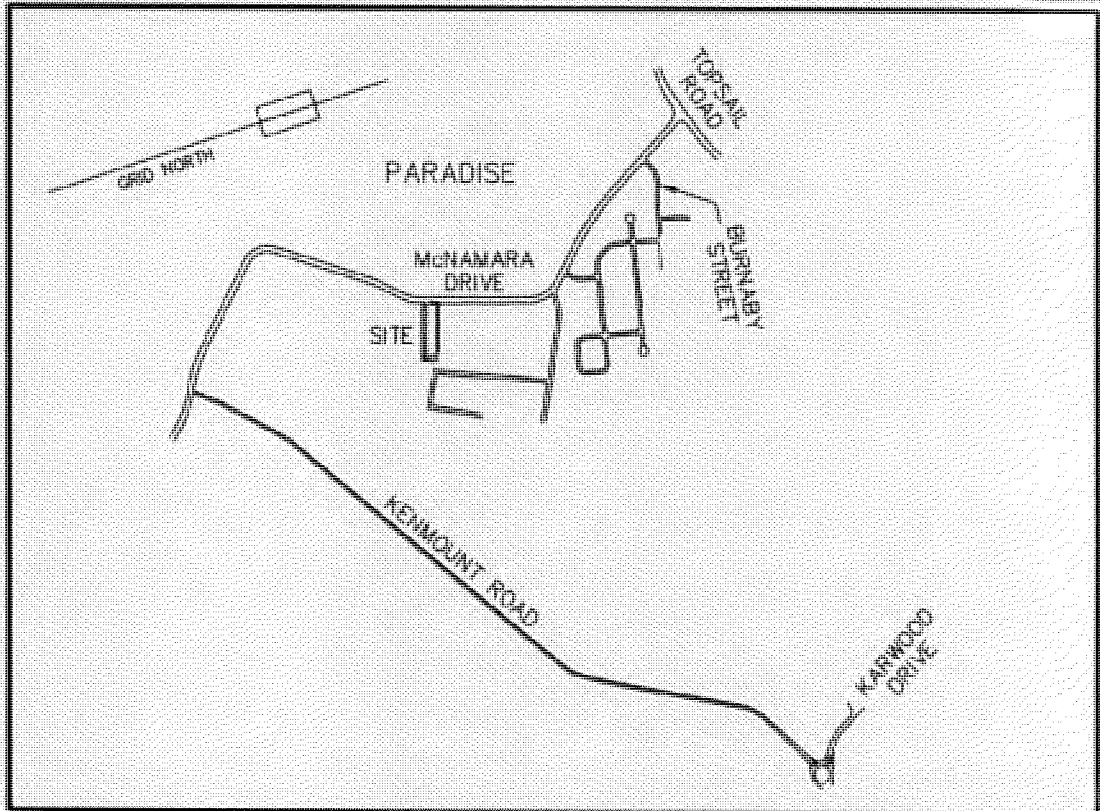


REV.	DESCRIPTION	DATE
0	ORIGINAL	OCT. 13, 2016

DRAWN : MAH	JOB No. : 161-00672	 Rev.
FIELD :	DWG NO. : 161-00672-500	
CHECKED: AMS	Page: 1 of 3	



WSP Canada Inc.  
1 Spectacle Lake Drive  
Dartmouth, Nova Scotia, Canada B3B 1X7  
T 902-835-9955 F 902-835-1645 www.wspgroup.com



Key Plan  
Scale: 1: 20,000



Aerial Photo  
Scale: 1: 1,500

TOWN OF  
**Paradise**

GENERAL APPLICATION

Application No: C2016-581

Applicant: Eastlink (Logan McDevitt) Phone: 902-812-5991 Fax: \_\_\_\_\_  
Mailing Address: Box 460, 6050 route St. Helier NS, B3K 3M5  
Property Owner: Coastal Supply and Gen. Phone: \_\_\_\_\_  
Property Owner Address: \_\_\_\_\_  
Contractor: Eastlink Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**TYPE OF PERMIT / PERMISSION:**

Building (all structures):  Development Approval:  Approval in Principle:   
Change/New Occupancy:  Repairs/Renovations:  Demolition:   
Residential Subdivision:  # of proposed lots: \_\_\_\_\_ Fence:   
Development Location: McNamara Dr, Paradise Construction Value: \$ 200,000.00

**DESCRIPTION OF LAND TO BE DEVELOPED**

Frontage: \_\_\_\_\_ (m/ft) Depth: \_\_\_\_\_ (m/ft) Area: 15m x 15m (m<sup>2</sup>)  
As per Survey:

**EXISTING LAND USES (check appropriate box(es) & specify)**

Residential:  Crown Land:  Unknown:   
Commercial:  Construction Company Vacant:  Other:

**DESCRIBE INTENDED USE**

*If Residential:*

Single Family Dwelling:  Single Family Dwelling w/ Apartment:  Extension to Dwelling:   
Add Apartment to existing:  Accessory Bldg (shed/garage):  Other:

*If Commercial:*

Retail:  Industrial:  Extension to Building:  Office:   
Restaurant:  New Tenant Up/Fit:  Other:  6m telecom tower

**DESCRIBE BUILDING (if applicable)**

Dimension: \_\_\_\_\_ x \_\_\_\_\_ (m/ft) Area: \_\_\_\_\_ (m<sup>2</sup>) Height: 6.1 (m/ft) Setback: 1.4 (m/ft)  
Heating Type: \_\_\_\_\_ # Washrooms: \_\_\_\_\_ Attached Garage: Y/N  
Propane/Oil Appliances: \_\_\_\_\_

**DESCRIBE RENOVATION, REPAIR, EXTENSION, ETC. (Additional Information):**

Install 6m self support telecom tower and security fencing on 15m x 15m perimeter.

**PROPOSED MEANS OF SERVICING**

Municipal Sanitary Sewer:  Onsite Drilled Well:  Municipal Water:   
Municipal Storm Sewer:  Onsite Septic Disposal System:   
Weeping Tile to Dry Pit or Other:

**PROPOSED MEANS OF ACCESS**

Existing Access:  New Access (Culvert):  New Access (Subdivision):

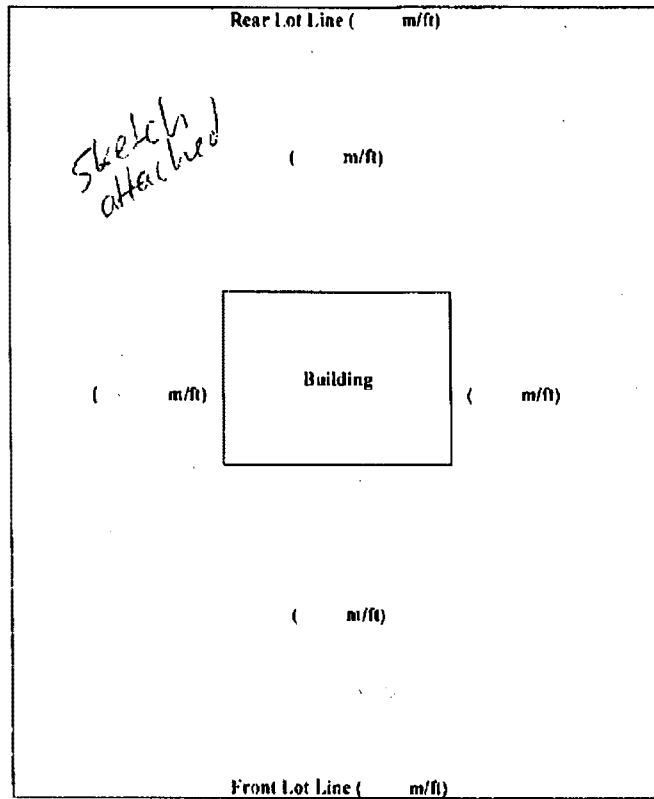
I, Logan McDevitt (Eastlink), the applicant(s) named herein, do solemnly declare: the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same; that the location and plot plan submitted correctly sets out the said application; I/we make this solemn declaration with full knowledge of the property owner, and knowing that

Date: July 19, 2016

# TOWN OF Paradise

## PLOT PLAN

Please indicate the proposed location of the new building in relation to the Lot Lines. Indicate the location of accessory buildings, fences, and extensions in relation to the existing building and the Lot Lines. Also indicate the distance between the accessory building and the existing building. Please indicate driveway location.



Side Lot Line ( m/ft)

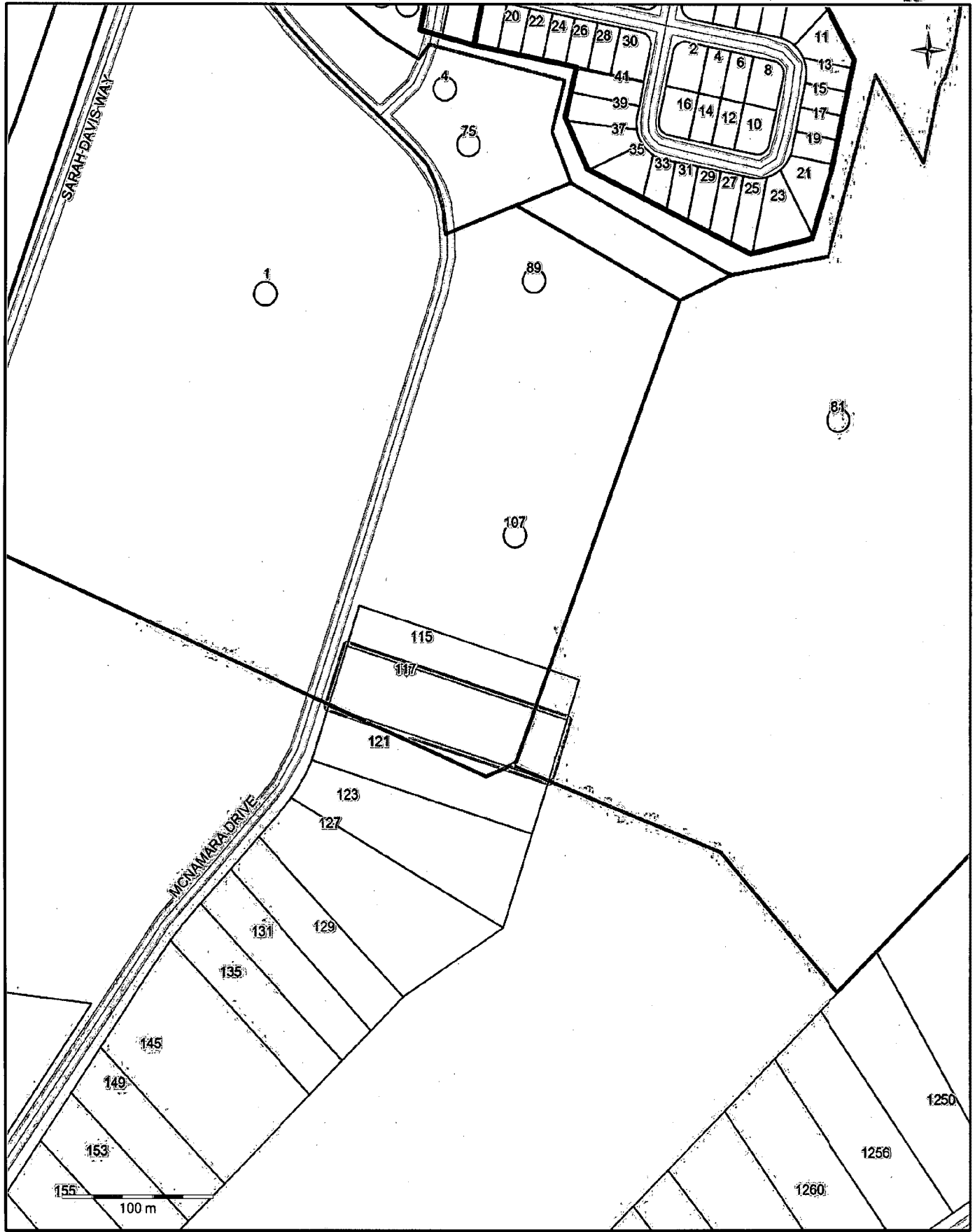
Side Lot Line ( m/ft)

Street Name and Number: 117 McNamara Dr, paradise



# 117 McNamara Drive

Zoning: Commercial/ Light Industrial





Commercial / Industrial Development Approval / Building Permit Application

Development Location: Hwy 50 Saint Thomas Application No. C2019-718

Development Approval [x] Approval in Principle [ ] Building Permit [ ]
Commercial [ ] Industrial [x] Renovation / Tenant Fit-Up [ ] Demolition [ ] Driveway/culvert [ ]

Applicant [x] Owner [ ] Occupant [ ] Contractor [ ]
Name: Eastlink (Logan McDavid) Email: logan.mcdavid@corp.eastlink.ca
Mailing Address: 6th floor, 6080 Young St Halifax NS Postal Code: B3K 5M3 Phone: 902 818 5971
Legal Business Name: Bragg Communications Operating Name: Eastlink
Proposed Use: Install 40m steel tower monopole telecommunications tower
Description of proposed work: Install 40m steel tower monopole telecommunications tower

Proposed Means of Access: Existing Access [x] New Access (Culvert) [ ]
Description of land to be developed:
Frontage: 12 (m) Depth: 12 (m) Area: 144 (m^2) As per Survey Attached: [x]

Construction Information
Est. Value of Work: \$200,000 Heating Type: NA
Building dimensions: (L) 2.4 (m) (W) 2 (m) (H) 2.4 (m)
Proof of Ownership or Purchase and Sale Agreement included: Yes [x] No [ ]
Two sets of site plans submitted: Yes [ ] No [ ] # of Parking stalls: NA # of washrooms: NA

Proposed Means of Servicing
Municipal Sanitary Sewer: [ ] \*On-site Septic Disposal System: [ ]
Municipal Water: [ ] \*On-site Drilled Well: [ ]
Municipal Storm: [ ] Weeping Tile to Dry Pit or Other: [ ]

\*Service NL approval required for on-site well & septic sewerage disposal

I/We, Eastlink (Logan McDavid), the applicant(s) named herein, do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, and that the location and plot plan submitted correctly sets out the location of the development described in the said application. I/We make this solemn declaration, conscientiously believing it to be true and with the full knowledge of the property owner, and knowing that it is of the same force and effect as if made by the property owner.

Signature: [Redacted] Date: Nov 19, 2019

Processing Fee: Commercial / Industrial - \$200.00 per unit (Additional fees may apply after staff review of the application. The Town of Paradise does not accept credit card payments. We accept cheque, cash or debit only.)

Office Use Only Receipt # [ ] Zoning [ ] (i.e. CLJ, CL, IG)
Discretionary Use req'd: Yes / No DA required: Yes / No Scanned: Yes / No
Variance req'd: Yes / No Variance %: [ ] Staff initial: [ ]



**This letter is to attest that all installations will respect good engineering practices including structural adequacy.**

All tower installations by EastLink will be constructed to comply with the structural standards contained in CSA 37-01 and all applicable engineering and construction standards. A final inspection will be conducted upon completion of the installation to verify the adherence to CSA 37-01 and engineering drawings.

If you have any questions, please contact me.

Sincerely,

A large black rectangular redaction box covers the signature area.

Darcy Gray, P.eng  
Construction Project Manager  
Eastlink



Serving a world in motion  
**navcanada.ca**

September 10, 2019

Your file  
NLA054  
Our file  
19-1857

Mr. Logan McDaid  
Bragg Communications LTD.  
6080 Young St. Box 8660  
Halifax, NS  
B3K 5M3

**RE: Communication: Monopole - Saint Thomas, NL**  
**(N47° 33' 45" W52° 53' 13" / 131.2336' AGL / 610.2362' AMSL)**

Mr. McDaid,

NAV CANADA has evaluated the captioned proposal and has no objection to the project as submitted.

In the interest of aviation safety, it is incumbent on NAV CANADA to maintain up-to-date aeronautical publications. To assist us in that end, we ask that you notify us upon completion of construction. This notification requirement can be satisfactorily met by returning a completed, signed copy of the attached form by e-mail at [landuse@navcanada.ca](mailto:landuse@navcanada.ca) or fax at 613-248-4094. In the event that you should decide not to proceed with this project or if the structure is dismantled, please advise us accordingly so that we may formally close the file.

If you have any questions, contact the Land Use Department by telephone at 1-866-577-0247 or e-mail at [landuse@navcanada.ca](mailto:landuse@navcanada.ca).

NAV CANADA's land use evaluation is valid for a period of 12 months. Our assessment is limited to the impact of the proposed physical structure on the air navigation system and installations; it neither constitutes nor replaces any approvals or permits required by Transport Canada, other Federal Government departments, Provincial or Municipal land use authorities or any other agency from which approval is required. Innovation, Science and Economic Development Canada addresses any spectrum management issues that may arise from your proposal and consults with NAV CANADA engineering as deemed necessary.

This document contains information proprietary to NAV CANADA. Any disclosure or use of this information or any reproduction of this document for other than the specific purpose for which it is intended is expressly prohibited except as NAV CANADA may otherwise agree in writing.



**Olivier Meier | NAV CANADA**  
Manager – AIM Land Use

cc ATLR - Atlantic Region, Transport Canada  
CCX2 - LONG POND(HELI)





**SECTION 11**

Geographic Coordinates  NAD83  NAD27  WGS84 N Latitude deg 47 min 33 sec 45  
 For multiple structures in a grouping, submit geographical coordinates on a separate spreadsheet (e.g. windfarms, transmission lines) W Longitude deg 52 min 53 sec 13

**SECTION 12**

Marking and Lighting Proposed (refer to Standard 621)

- Red lights and paint  Red and M.I. white lights  White M.I. lights  
 Red and H.I. white lights  White H.I. lights  No painting  
 No lighting  Paint marking only  
 Other (provide description): \_\_\_\_\_

**SECTION 13**

Monitoring to Standard 621, article 4.7

- Visual inspection – 24 hrs  <sup>1</sup> Remote indicator – failure alarm  Remote indicator – with self-diagnostic  
 <sup>2</sup> Other

<sup>1</sup> Mitigation to be detailed in Section 3 <sup>2</sup> Justification to be given in Section 3

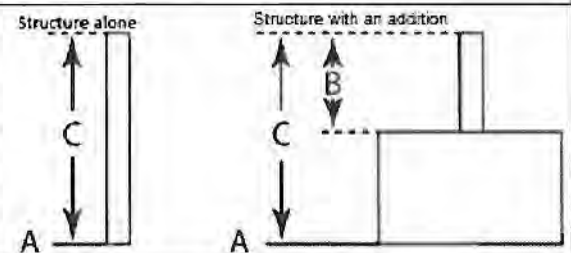
**SECTION 14**

Catenary/Cable Crossing

- Paint supporting structures  Cable marker spheres  Shore markers  
 Support structure lighting  Cable marker lights

**SECTION 15**

	Feet	Metres
<b>A</b> Ground Elevation (AMSL)	479	146
<b>B</b> Height of an addition to a structure		
<b>C</b> Total structure height including B (AGL)	131	40
Overall height (A plus C) (AMSL)	610	186



**SECTION 16**

Does the proposal comply with **Airport Zoning Regulations**?

- Yes  No  N/A

Where the location of the object is on lands affected by **Airport Zoning Regulations**, a legal survey is required with the submittal.

I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge. Also, I agree to mark and/or light and maintain the structure with established marking and lighting standards as necessary.

*Logan McDavid*

2019-05-22

Date (yyyy-mm-dd)

**TRANSPORT CANADA ASSESSMENT (Transport Canada use only)**

Marking and lighting required (as per Standard 621)

- Night protection required  Day protection required  Temporary lighting required  No protection required

ATS-19-20-00011864  
RDIMS 15440685

Completion of this form does not constitute authorization for construction nor replace other approvals or permits. See instruction E and F.

Civil Aviation Inspector <b>Chris Potschka</b>	Signature <i>Chris Potschka</i>	Date (yyyy-mm-dd) <b>2019-06-19</b>
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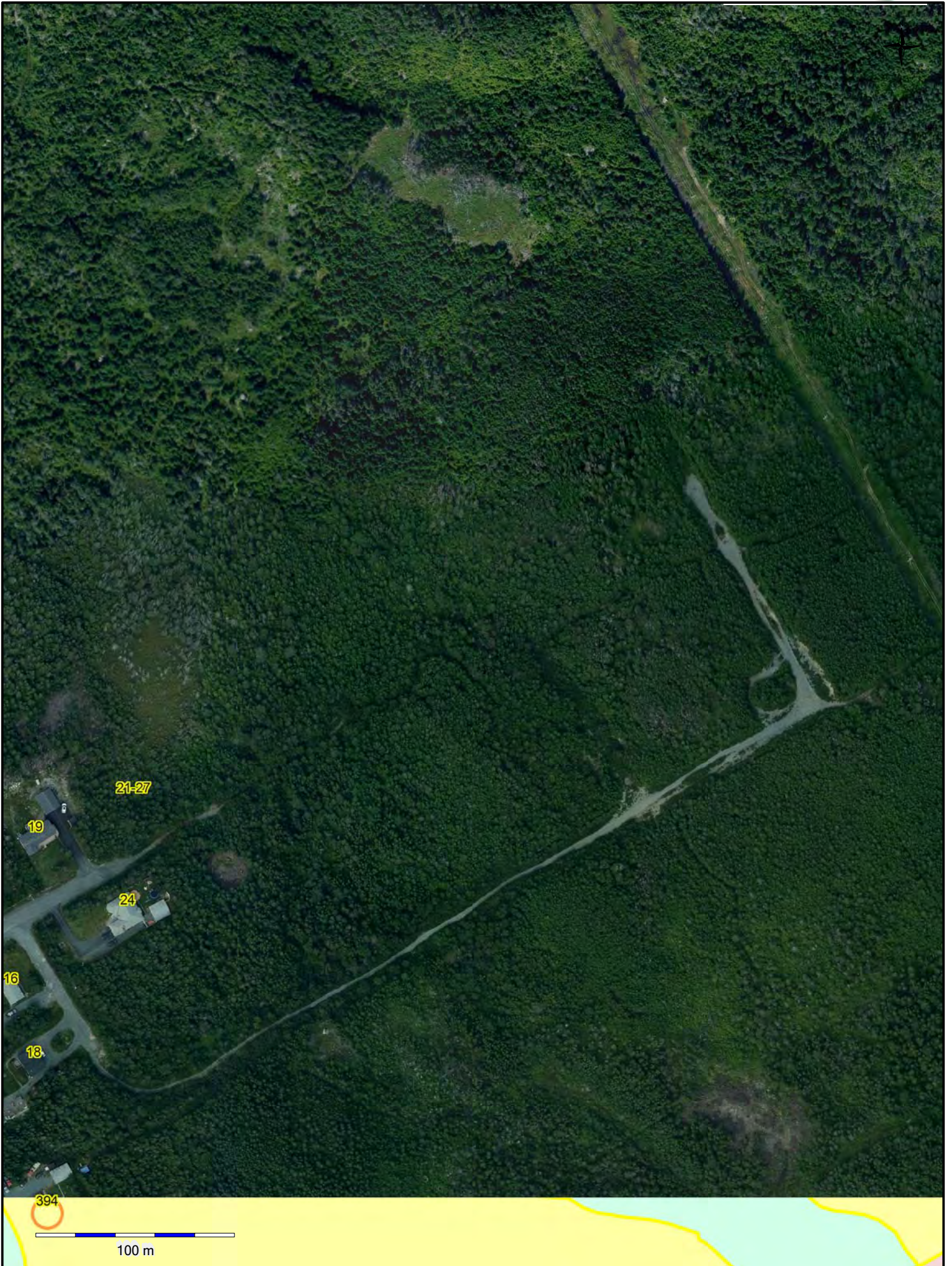
Note 1: This assessment expires 18 months from the date of assessment unless extended, revised, or terminated by the issuing office.

Note 2: If there is a change to the intended installation, a new submittal is required.



# 35 O'Brien's Way

CDA Use Zone





# Eastlink Stealth Monopole example





# Eastlink Stealth Monopole example









# Eastlink Stealth Monopole example



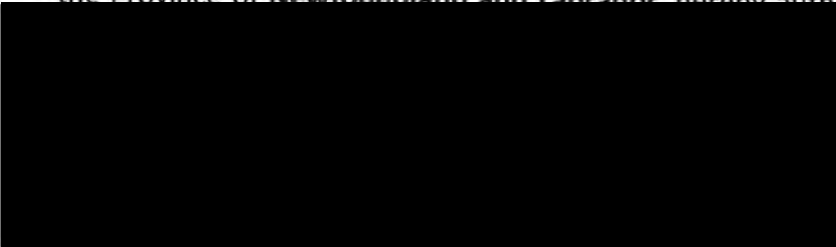




## Letter of Authorization

Date: May 14<sup>th</sup>, 2019  
Landowner's Name: NKG Holdings Inc.  
Landowner's Address: 168 Major Path  
St John's, NL A1A 5A1  
Landowners Phone #: (709) 800-7710  
PID #: n/a  
Property Address: O'Brien's Way, Saint Thomas NL

We, **NKG Holdings Inc.**, the owner(s) of the property located at **O'Brien's Way, Saint Thomas** in the Province of Newfoundland and Labrador, hereby authorize Eastlink to obtain at their sole discretion all information associated with the property for the



Name: Green Hunt  
Title: Director  
Date: May 31, 2019.

Per: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

## Dawn Doody

---

**From:** Logan McDaid <Logan.McDaid@corp.eastlink.ca>  
**Sent:** November 19, 2019 11:00 AM  
**To:** Keith Saunders  
**Cc:** Lorelei Dean; Dawn Doody  
**Subject:** RE: Eastlink telecom tower proposal in Paradise NLA054 (Highway 50, Saint Thomas)  
**Attachments:** NLA054 application form.pdf; NLA054- Owners Authorization Form.pdf

Hi Keith,

Here's a copy of the signed application form. I've included a copy of our in-house owners authorization document that we use, let me know if that can work in place of our landowner signing the actual application form.

Should have the cheque and the notification materials over by the end of the week. Any questions or anything in the meantime though just let me know.

Regards,

### Logan McDaid | Wireless Site Planner

Eastlink | Wireless

[Logan.McDaid@corp.eastlink.ca](mailto:Logan.McDaid@corp.eastlink.ca) T: 902.818.5971

---

**From:** Keith Saunders [<mailto:ksaunders@paradise.ca>]  
**Sent:** November-19-19 9:29 AM  
**To:** Logan McDaid <[Logan.McDaid@corp.eastlink.ca](mailto:Logan.McDaid@corp.eastlink.ca)>  
**Cc:** Lorelei Dean <[LDean@paradise.ca](mailto:LDean@paradise.ca)>; Dawn Doody <[ddoody@paradise.ca](mailto:ddoody@paradise.ca)>  
**Subject:** RE: Eastlink telecom tower proposal in Paradise NLA054 (Highway 50, Saint Thomas)

Hi Logan

The cell tower is a discretionary use in the Comprehensive Development Area (CDA) zone where you propose to locate it. I will need to ask Council to allow me to advertise the application and notify all residents within 200 metres of the proposed location. The public notification period will be two weeks.

Please fill out the attached application, and submit the fee. You are applying for 'Development Approval', and use the 'Description of proposed work' area to indicate the proposed cell tower. The land-owner must sign the back of the form. Application fee is \$200.00 and the fee for advertising the application is an additional \$200.00. Both fees must be paid before the application will be processed. Cash, cheque or debit.

I will also need you to provide copies of your information package, as supplied to Industry Canada. We will provide that to the residents in the 200 metre mail out, and have copies to hand out at Town Hall.


I will take the application to the first scheduled Planning Committee meeting after receipt of the finished application and fee.

Regards,

**C. Keith Saunders**  
Planning Technician



P: 709.782.3534 F: 709.782.3603  
[ksaunders@paradise.ca](mailto:ksaunders@paradise.ca)  
[www.paradise.ca](http://www.paradise.ca)

 Please consider whether it is necessary to print this email

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**From:** Logan McDaid [<mailto:Logan.McDaid@corp.eastlink.ca>]  
**Sent:** October 31, 2019 10:31 AM  
**To:** Keith Saunders  
**Cc:** Lorelei Dean  
**Subject:** Eastlink telecom tower proposal in Paradise NLA054 (Highway 50, Saint Thomas)

Hi Keith,

Eastlink has a 40m stealth monopole that we are looking to propose on a piece of property off of the end of O'Briens Way, in Saint Thomas (sketch attached).

It's been a couple of years since we've done any work in paradise so let me know if we need anything else to get the discretionary use application started.

Regards,



**Logan McDaid | Wireless Site Planner**  
Eastlink | Wireless  
[Logan.McDaid@corp.eastlink.ca](mailto:Logan.McDaid@corp.eastlink.ca) T: 902.818.5971



**DEVELOPMENT APPROVAL**

Permit No. C2019-718

Date of Issue: January 22, 2020

Expiry Date: January 22, 2021

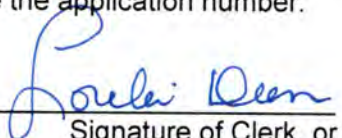
**Applicant:** Eastlink  
"Logan McDavid"

**Application #: C2019-718**

Council has considered your application dated November 19, 2019 to install a 40 meter stealth monopole telecommunications tower at 35 – 99 O'Brien's Way and hereby permits the proposal, subject to the conditions attached hereto.

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT NOR AN OCCUPANCY PERMIT.**

A permit issued by the Council of the Town of Paradise may be subject to the submission of an appeal, by any party or person, for a period of **fourteen (14) days from the receipt of the approval. An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NL, A1B 4J6. A fee of \$230.00 (\$200.00 plus \$30.00 HST), must be remitted along with the appeal.** Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.

  
Signature of Clerk, or  
Authorized Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**

/ch



**ZONING, SUBDIVISION AND ADVERTISEMENT REGULATIONS**  
**CONDITIONS (C2019-718)**

1. The development must comply with the standards of the Comprehensive Development Area Use zone in the Town of Paradise Development Regulations, 2016.
2. Construction of the tower must be in accordance with the requirements of Innovation, Science & Economic Development Canada, the Radio Communications Act and, if applicable, the current National Building Code of Canada.
3. Prior to the issuance of a building permit for the tower, the applicant must submit the following:
  - 3.1 Proof of lease agreement of the amount of land/building as shown on the application.
  - 3.2 Two sets of professionally engineered building plans.
4. The work authorized by this Development Approval shall not be used or occupied without the granting of an Occupancy Permit from the Town of Paradise. A security deposit (1% of the construction value) is required in addition to the permit fees. Should an excavation permit be required, a security deposit of \$2000.00 will be applied. The security deposit will be refunded following the granting of an Occupancy Permit, completion of all required site work as per the approved site plan and correction of any deficiencies.
5. Any placard issued by the Town of Paradise relating to the work authorized by this or any other permit must be displayed in full public view on the site.
6. This permit does not authorize the use or occupancy of Crown Land or other lands without a lease or grant from the Crown or permission of the owner.
7. The issue of this permit does not exempt the applicant from obtaining any other permits or approvals required by law.
8. Should the tower be dismantled at a future date for any reason, the Council of the Town of Paradise is to be advised a minimum of 30 days of the date the tower is to be dismantled.
9. The Developer shall ensure that any blasting required to be done shall be done in compliance with the Blasting Regulations of the Province of Newfoundland and Labrador. Before any blasting is commenced, the Town of Paradise shall be notified at least twenty-four (24) hours in advance of any blasting taking place and shall be provided with proof of blasting insurance, blasting license, and a copy of the pre-blast survey.
10. The tower to be installed as per the engineered drawings once approved. Certification from the consulting engineer must be provided to the Town prior to occupying the site.



\_\_\_\_\_  
Signature of Clerk, or  
Authorized Municipal Officer



## Cynthia Hulan

---

**From:** Cynthia Hulan  
**Sent:** December-18-19 10:07 AM  
**To:** Dawn Doody  
**Subject:** Ad for Shoreline  
**Attachments:** 35-99 O'Brien's Way(Discretionary Use - Cell tower) (C2019-718) - December 18, 2019.doc

Hi Dawn;

Please see attached ad for the shoreline.

Thanks  
Cindy

*Cynthia Hulan*  
Development Technician  
Department of Planning & Protective Services  
P: 709-782-3902  
F: 709-782-3603  
[chulan@townofparadise.ca](mailto:chulan@townofparadise.ca)



This e-mail message (including attachments, if any) is confidential and may be privileged. Any unauthorized distribution or disclosure is prohibited. Disclosure to anyone other than the intended recipient does not constitute waiver of privilege. If you have received this e-mail in error, please notify us and delete it and any attachments from your computer system and records.



Commercial / Industrial Development Approval / Building Permit Application

Development Location: Hwy 50 Saint Thomas Application No. C2019-718

Development Approval [X] Approval in Principle [ ] Building Permit [ ]
Commercial [ ] Industrial [X] Renovation / Tenant Fit-Up [ ] Demolition [ ] Driveway/culvert [ ]

Applicant [X] Owner [ ] Occupant [ ] Contractor [ ]
Name: Eastlink (Logan McDavid) Email: logan.mcdavid@corp.eastlink.ca
Mailing Address: 6th floor, 6080 Young St Halifax NS Postal Code: B3K 5M3 Phone: 902 818 5971
Legal Business Name: Bragg Communications Operating Name: Eastlink
\*Proposed Use: Install 40m steel tower monopole telecommunications tower
Description of proposed work: Install 40m steel tower monopole telecommunications tower

Proposed Means of Access: Existing Access [X] New Access (Culvert) [ ]
Description of land to be developed:
Frontage: 12 (m/ft.) Depth: 12 (m/ft.) Area: 144 (m²/ft²) As per Survey Attached: [X]

Construction Information
Est. Value of Work: \$200,000 Heating Type: NA
Building dimensions: (L) 2.4 (m/ft) (W) 2 (m/ft) (H) 2.4 (m/ft)
Proof of Ownership or Purchase and Sale Agreement included: Yes [X] No [ ]
Two sets of site plans submitted: Yes [ ] No [ ] # of Parking stalls: NA # of washrooms: NA

Proposed Means of Servicing
Municipal Sanitary Sewer: [ ] \*On-site Septic Disposal System: [ ]
Municipal Water: [ ] \*On-site Drilled Well: [ ]
Municipal Storm: [ ] Weeping Tile to Dry Pit or Other: [ ]

\*Service NL approval required for on-site well & septic sewerage disposal

I/We, Eastlink (Logan McDavid), the applicant(s) named herein, do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, and that the location and plot plan submitted correctly sets out the location of the development described in the said application. I/We make this solemn declaration, conscientiously believing it to be true and with the full knowledge of the property owner, and knowing that it is of the same force and effect as if made under oath.

Signature: [Redacted] Date: Nov 19, 2019

Processing Fee: Commercial / Industrial - \$200.00 per unit (Additional fees may apply after staff review of the application. The Town of Paradise does not accept credit card payments. We accept cheque, cash or debit only.)

Office Use Only Receipt # [ ] Zoning [ ] (i.e. CL/I, CL, IG)
Discretionary Use req'd: Yes / No DA required: Yes / No Scanned: Yes / No
Variance req'd: Yes / No Variance %: [ ] Staff initial: [ ]



# Letter of Authorization

Date: May 14<sup>th</sup>, 2019

Landowner's Name: NKG Holdings Inc.

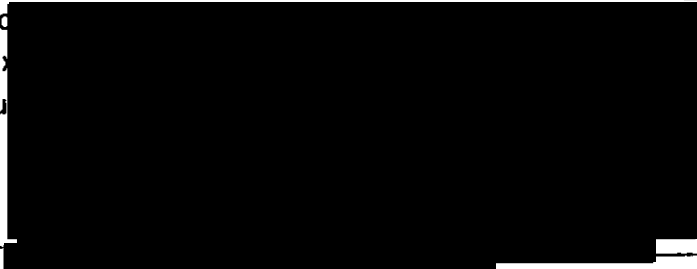
Landowner's Address: 168 Major Path  
St John's, NL A1A 5A1

Landowners Phone #: (709) 800-7710

PID #: n/a

Property Address: O'Brien's Way, Saint Thomas NL

We, **NKG Holdings Inc.**, the owner(s) of the property located at **O'Brien's Way, Saint Thomas** in the Province of **NL** authorize **Eastlink** to obtain at their sole cost and expense all necessary permits associated with the property for the telecommu



Per: \_\_\_\_\_

Name: Greer Hunt

Title: Director

Date: May 31, 2019.

Per: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



## **Property owner**

### **Subject: Public Notification of Proposed Telecommunications Structure Highway 50, Paradise, NL 40m Stealth Monopole Telecommunications Tower (NLA054)**

Eastlink delivers a wide range of advanced communications services to customers across the country. As we continuously look at how we can deliver the best possible communications services to our customers, we are augmenting our service in the Saint Thomas neighborhood of Paradise, Newfoundland area in order to improve cellular coverage.

Wherever possible, Eastlink is using existing infrastructure (telecommunications towers, buildings, water tanks, etc.), for placement of our cellular antennas. In situations where existing infrastructure is not a viable option, we selectively purpose new telecommunications towers to provide the required height for our cellular antennas.

Eastlink did search for existing infrastructure options in the area but unfortunately there were no suitable structures within the vicinity of our proposed location.

When we propose to build new telecommunications infrastructure we consult with the land use authority and the community to provide information on the proposed infrastructure and to gather feedback.

## **Proposed Tower Location**

A forty (40) metre stealth monopole telecommunications tower is proposed to be installed on a portion of a property located off Ayres Road (O'Brien's Way), Paradise, NL. The proposed tower is set back approximately four-hundred-forty (440) metres from Ayres Road (O'Brien's Way), with approximate tower centre co-ordinates at: 47 33 45.06N 52 53 12.21W.

Innovation, Science and Economic Development Canada requires owners of telecommunications structures to allow other carriers to locate their antennae on existing structures when possible. In the future, other carriers might request access to the proposed structure.



**+Local Land Use Authority:**

The Town of Paradise has a predetermined process for the placement of telecommunications facilities. This letter is being provided in accordance with that policy.

**Eastlink**

**Attn: Logan McDaid**

**Wireless Site Planner**

**6080 Young Street, 6th Floor**

**Halifax, NS, B3K 5L2**

**p: 902.818.5971**

**e: [community.relations@corp.eastlink.ca](mailto:community.relations@corp.eastlink.ca)**

For further information pertaining to antenna systems, please refer Innovation, Science and Economic Development Canada's Spectrum Management and Telecommunications website ([www.ic.gc.ca/antenna](http://www.ic.gc.ca/antenna))

<b>Innovation, Science and Economic Development Canada Regional Office</b>	<b>Town of Paradise</b>
<p><b>P.O. Box 8950, John Cabot Building 10 Barter's Hill, 10th floor St. John's NL A1B 3R9</b></p> <p><b>Phone: 1-855-465-6307 Fax: 709-772-4890 Email: <a href="mailto:ic.spectrumnl@spectredtl.ic@canada.ca">ic.spectrumnl-spectredtl.ic@canada.ca</a> (By appointment only)</b></p>	<p><b>Keith Saunders Planning Technician – Town of Paradise 28 McNamara Drive, Paradise, NL A1L 0A6</b></p> <p><b>Phone: 709-782-3534 Email: <a href="mailto:planningnotices@paradise.ca">planningnotices@paradise.ca</a></b></p>

**Enclosed in this package, you will also find the following:**

- Additional technical details
- Site plan
- Tower profile
- Safety Code 6
- Civil engineering attestation
- A photo of an existing stealth monopole telecommunications tower



## **Technical Details**

### **Access/Demarcation**

Access to the tower will be from Ayres Road (O'Brien's Way) via an existing driveway. The base of the tower and equipment shelter will be enclosed with fencing which will be eight (8) feet in height.

### **Environmental Considerations**

An environmental assessment will not be required for this location as the proposed structure is not located within thirty (30) metres of a body of water. Neither the antenna nor its supporting structure nor any of its supporting lines have a foot print of more than twenty-five (25) metres squared.

### **Structure Detail**

The proposed supporting structure for this location is a forty (40) metre stealth monopole telecommunications tower.

### **Antennas**

Six (6) antennas will be mounted at the top of the tower along with six (6), sixty (60) centimetre radios just below the top of the tower.

### **Transport & NAV Canada Requirements**

Approvals received. Tower will not be equipped with any lighting as per Transport Canada evaluation.

### **Health Canada Safety Standards:**

Eastlink strictly adheres to Health Canada safety standards. More information may be found on Health Canada's website at:

<https://www.canada.ca/en/health-canada/services/environmental-workplace-health/reports-publications/radiation/safety-code-6-health-canada-radiofrequency-exposure-guidelines-environmental-workplace-health-health-canada.html>



# Sketch Plan Showing Proposed Tower Site Required over Lands of NKG HOLDINGS INC.

HIGHWAY NO 50, SAINT THOMAS,  
PROVINCE OF NEWFOUNDLAND and LABRADOR

<b>ELEVATION (GROUND) (m)</b>	
<b>VERTICAL DATUM</b>	CGVD2013
<b>TOWER SITE CENTRE</b>	155.8±

PROPOSED TOWER CENTER		
GEOGRAPHICAL (NAD83–CSRS)		NAD83 MTM ZONE 1
DECIMAL DEGREE 47.56252° N. Lat.	DEGREE MIN. SEC. 47°33'45.06" N. LAT.	5,269,264.777 N. 313,323.585 E.
52.88673° W. Long.	52°53'12.21" W. LONG.	

EASEMENT AREA TABLE		
	ha	Ac.
Tower Site (Parcel NLA054)	0.015	0.04
12.2m Easement (Parcel AE-NLA054)	0.516	1.28

LEGEND			
DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
NEWFOUNDLAND AND LABRADOR CONTROL MONUMENT		LANDS DEALT WITH BY THIS PLAN	OR
SURVEY MARKER PLACED		FOUND	Fd.
SURVEY MARKER FOUND	Fd.	SQUARE METRE(S)	SQ.M.
TOWER CENTRE		HECTARE	ha
UTILITY POLE / GUY	U.P.  G.W.	NEWFOUNDLAND LAND SURVEYOR	NLS
FENCE		LAND REGISTRATION OFFICE	LRO
EXISTING OVERHEAD WIRES	--EOH--HO3--	PARCEL IDENTIFIER	PID
PROPOSED OVERHEAD WIRES	--OH--HO--	TOP OF SLOPE	
TREELINE		BOTTOM OF SLOPE	
PROPOSED	PR.	ACRES	Ac.
MANHOLE	M.H.	LIGHT STANDARD	L.S.
CATCH BASIN	C.B.	POINT OF CURVATURE	P.C.
WATER VALVE	W.V.	POINT OF COMPOUND CURVATURE	P.C.C.
FIRE HYDRANT	F.H.	RADIUS ; ARC	R ; A



The Proposed Site : Yes No

Is not within the buffer zone for any water body .....

Is free of conflict with any encumbrances or interests of a surface or physical nature .....

**DETAIL**  
NOT TO SCALE  
CONCEPTUAL ELEVATION VIEW

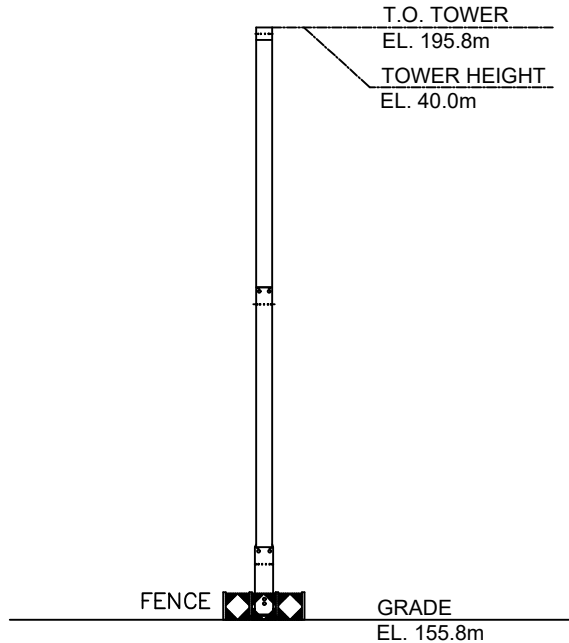
# TENTATIVE

REV.	DESCRIPTION	DATE
0	ORIGINAL	OCT. 24/19

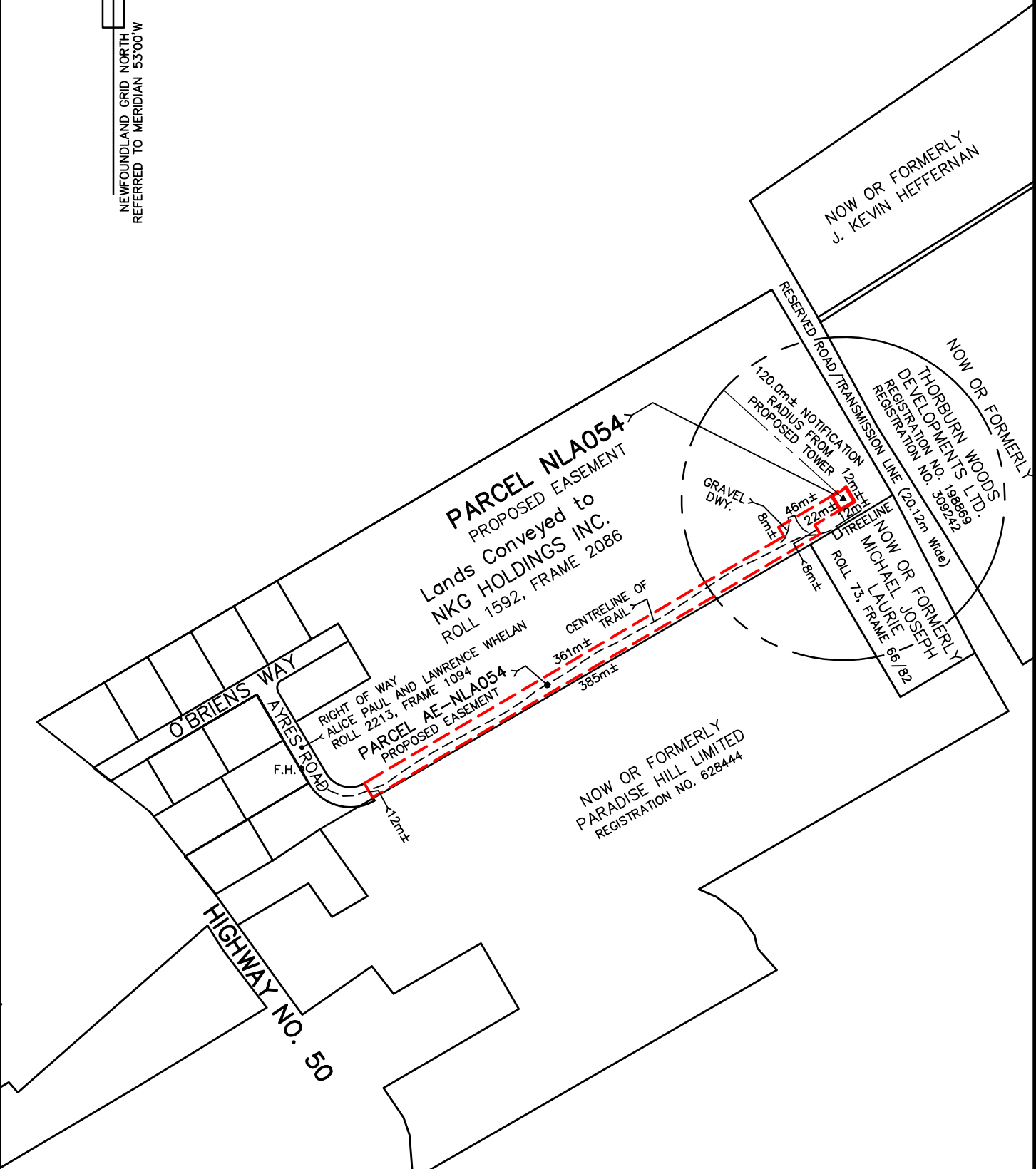
DRAWN : MAH	JOB No. :191-11464	 Rev.
FIELD : CN	DWG NO. :191-11464-670	
CHECKED: AMS	Page : 1 of 3	



**WSP Canada Inc.**  
1 Spectacle Lake Drive  
Dartmouth, Nova Scotia  
Canada B3B 1X7  
T 902-835-9955  
F 902-835-1645  
www.wsp.com

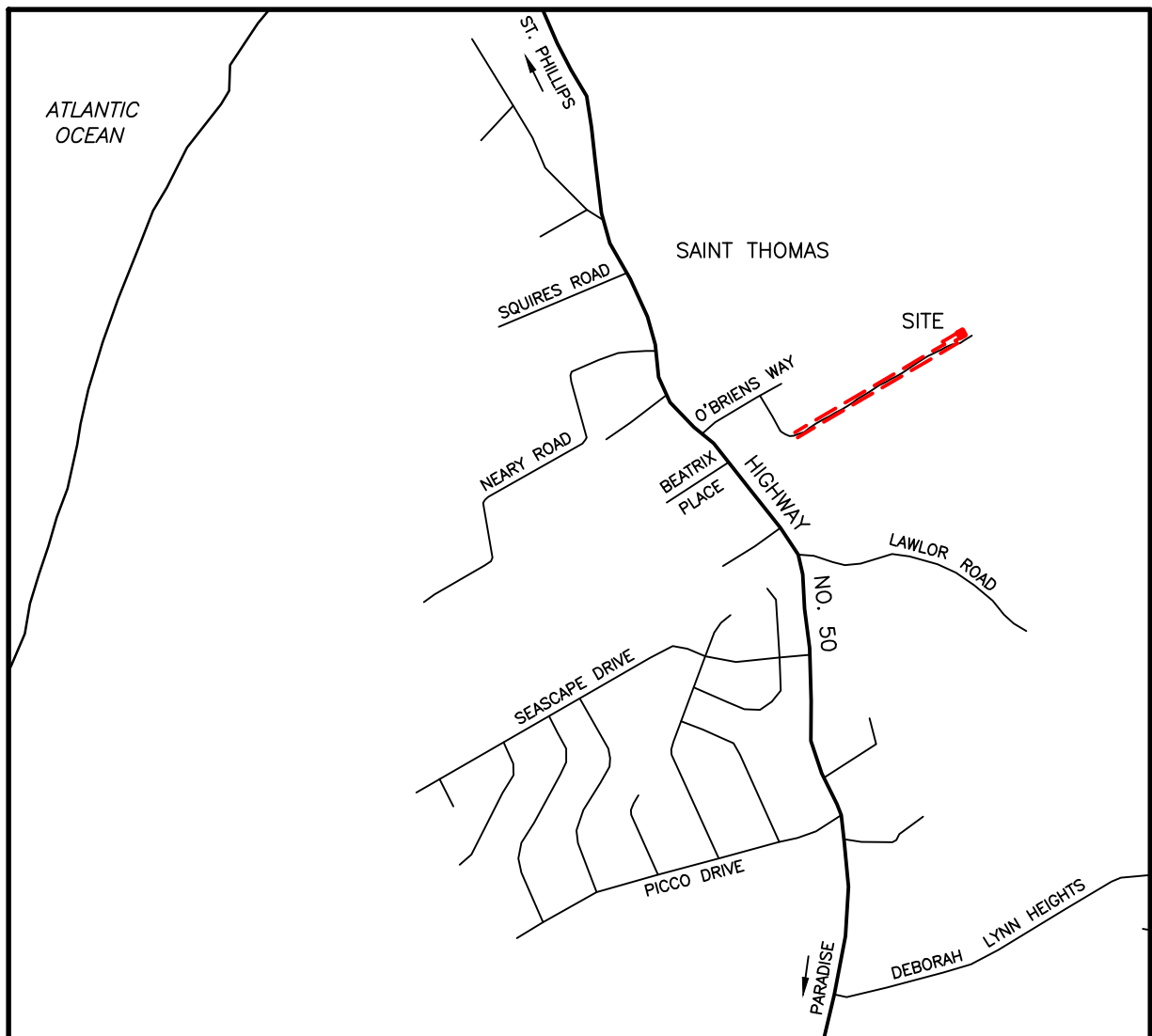


NEWFOUNDLAND GRID NORTH  
REFERRED TO MERIDIAN 53°00'W

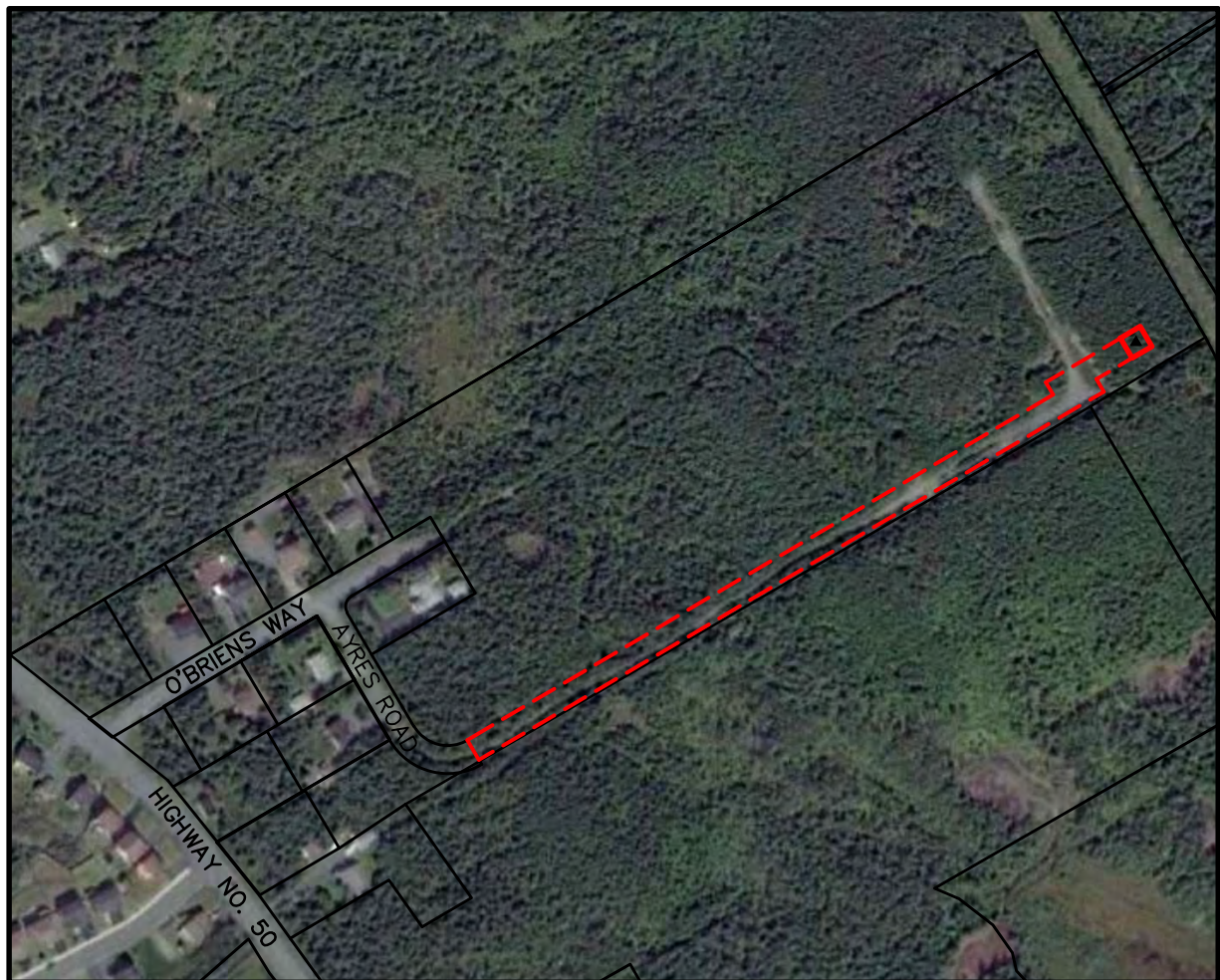


Site Plan  
Scale: 1:4000





Key Plan  
Scale: 1: 15,000



Aerial Photo  
Scale: 1: 4,000



## Safety Code 6 Attestation for NLA054

Site General Information	
Site Name	Ayres Road (O'Brien's Way)
Community	Paradise
Latitude	47 33 45.06N
Longitude	52 53 12.21W
Tower Height	40m
Tower Type	Stealth Monopole
Number of antennas	6

It is the responsibility of operators of radio-communication and broadcasting installations to ensure that their facilities comply with Health Canada's Safety Code 6 at all times, taking into consideration the local radio environment. Compliance with Safety Code 6 is an ongoing obligation. Eastlink acknowledges this obligation and its entire site design and operational processes reflect this.

To ensure compliance at the design stage, Eastlink uses engineering best practices. These practices include preventing any access in front of the antenna, installing antennas to ensure at least a minimal distance from any windows, designing the site in a way that the public cannot come close to the antenna and never installing antennas near balconies. At all time and anywhere the general public can have access, emissions from Eastlink's wireless installations are well below the established limits.

Once the site is built, Eastlink continuously monitors the power of its equipment remotely and ensures Safety Code 6 compliance even in the event that equipment is changed or added to the site. Upon request by Industry Canada or other public authorities, Eastlink can engage a third Party firm to perform live measurements to demonstrate compliance with the Safety Code 6.

  
William Gooding, p. eng.  
Manager, Radio Network Engineering





E-MAILED  
March 7, 2018

Mkirkland@kba.ca

## DEVELOPMENT APPROVAL

Applicant: Rogers Communications  
C/O Kirkland, Balsom

Date of Issue: March 6, 2018

Application #: C2018-026

Expiry Date: March 6, 2019

The Council has considered your application dated January 26<sup>th</sup>, 2018 for development approval to construct a cell tower at 34 St Anne's Crescent, and hereby grants development approval for the proposal, subject to the conditions attached hereto.

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT.**

**An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NF, A1B 4J6. A fee of \$230.00 (\$200.00 plus \$30.00 HST), must be remitted along with the appeal.** Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.

Signature of Town Clerk or  
Authorized Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**

## DEVELOPMENT REGULATIONS CONDITIONS (C2018-026)

1. With the exception of the 45 m height of the cell tower, the development must comply with the standards of the Industrial General Use zone in the Town of Paradise Development Regulations, 2004.
2. Construction of the tower must be in accordance with the requirements of Industry Canada, the Radio Communications Act and, if applicable, the current edition of the **National Building Code of Canada**.
3. Prior to the issuance of a building/renovation permit, the applicant must submit the following:
  - 3.1 Proof of lease agreement of the amount of land/building as shown on the application.
  - 3.2 Two sets of professionally engineered building plans.
4. **The development authorized by this permit shall not be used or occupied without an Occupancy Permit from the Town of Paradise.**
5. Any placard issued by the Town of Paradise relating to the work authorized by this or any other permit must be displayed in full public view on the site.
6. This permit does not authorize the use or occupancy of Crown Land or other lands without a lease or grant from the Crown or permission of the owner.
7. The issue of this permit does not exempt the applicant from obtaining any other permits or approvals required by law.
8. Should the tower be dismantled at a future date for any reason, the Council of the Town of Paradise is to be advised a minimum of 30 days of the date the tower is to be dismantled.
9. The Developer shall ensure that any blasting required to be done shall be done in compliance with the Blasting Regulations of the Province of Newfoundland and Labrador. Before any blasting is commenced, the Town of Paradise shall be notified at least twenty-four (24) hours in advance of any blasting taking place and shall be provided with proof of blasting insurance, blasting license, and a copy of the pre-blast survey.



Signature of Town Clerk or  
Authorized Municipal Officer





Commercial / Industrial Development Approval / Building Permit Application

Development Location: 34 St. Anne's Crescent Application No. C2018-026

Development Approval [X] Approval in Principle [ ] Building Permit [X]
Commercial [X] Industrial [ ] Renovation / Tenant Fit-Up [ ] Demolition [ ] Driveway/culvert [ ]

Owner [ ] Occupant [X] Contractor [ ]
Name: Rogers Communications Email: m.kirkland@ata.ca
Mailing Address: c/o Kirkland Balsom Postal Code: A1B4W2 Phone: 738-1000
Legal Business Name: 21 Mews Place St. John's Operating Name:
\*Proposed Use: Communications Description of proposed work: 45 meter tower self support tower
New Occupancy [X] Change of Location [ ] (If yes, previous location)
New Business [ ] Expansion of Existing [ ] # of employees
Do you wish to be contacted by the Economic Development Officer? Yes [ ] No [X]
Note: If the applicant is not the registered land owner, the application will not be accepted without the written consent of the owner.

Proposed Means of Access: Existing Access [X] New Access (Culvert) [ ]
Description of land to be developed:
Frontage: (m/ft.) Depth: (m/ft.) Area: (m^2/ft^2) As per Survey Attached: [X]
Construction Information
Est. Value of Work: \$200,000 Heating Type: N/A
Building dimensions: (L) m/ft (W) m/ft (H) m/ft
Proof of Ownership or Purchase and Sale Agreement included: Yes [ ] No [ ]
Two sets of site plans submitted: Yes [ ] No [ ] # of Parking stalls: # of washrooms:
Proposed Means of Servicing
Municipal Sanitary Sewer: [ ] \*On-site Septic Disposal System: [ ]
Municipal Water: [ ] \*On-site Drilled Well: [ ]
Municipal Storm: [ ] Weeping Tile to Dry Pit or Other:
\*Service NL approval required for on-site well & septic sewerage disposal

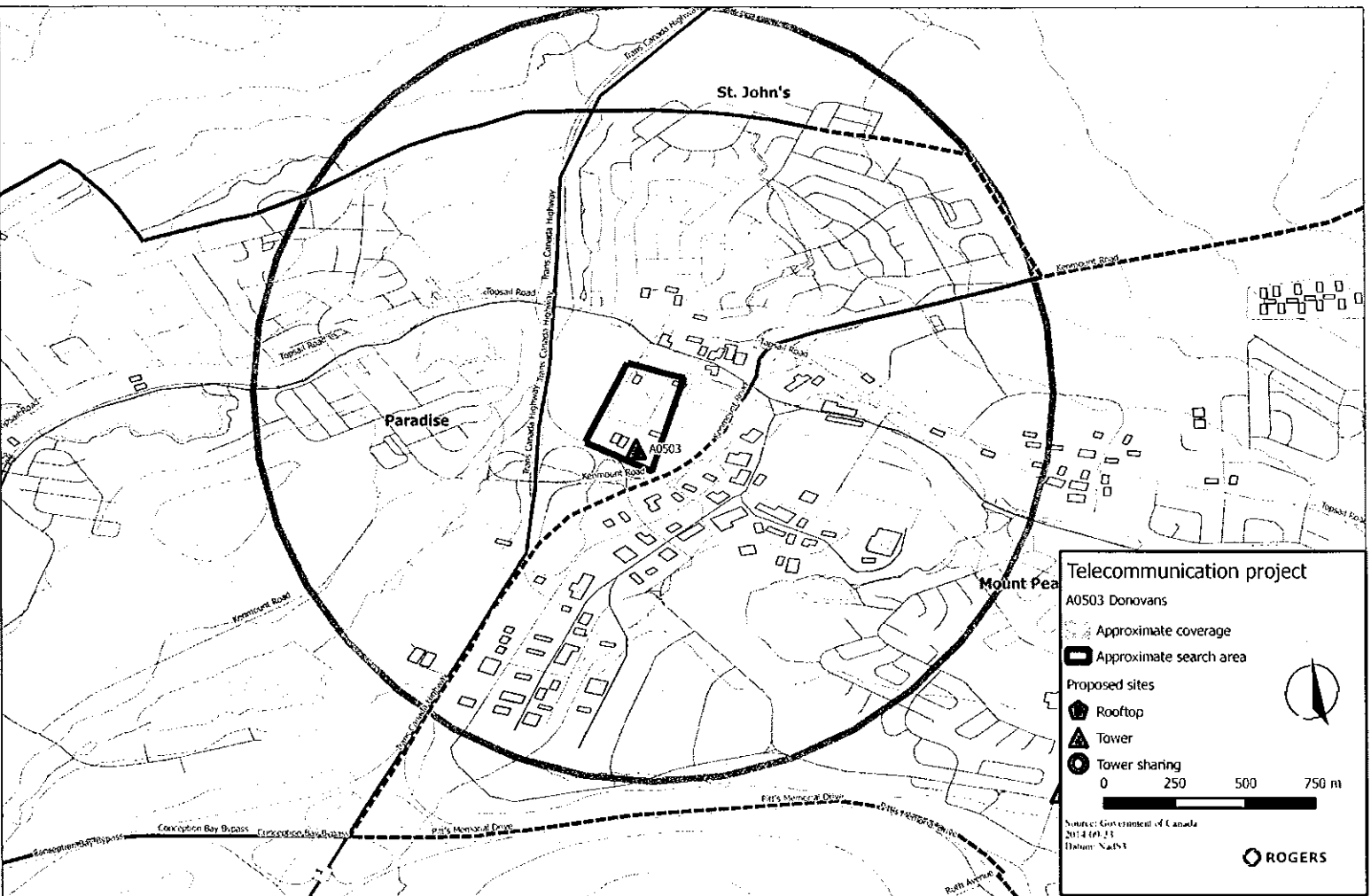
I/We, Rogers Communications, the applicant(s) named herein, do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same and that the location and plot plan submitted correctly sets out the location of the development on the property. I/we make this solemn declaration, conscientiously believing it to be true and correct, and as the owner of the property owner, and knowing that it is of the same force and effect as if sworn to before a Commissioner of the Town of Paradise.

Signature: [Redacted] Date: July 26, 2018

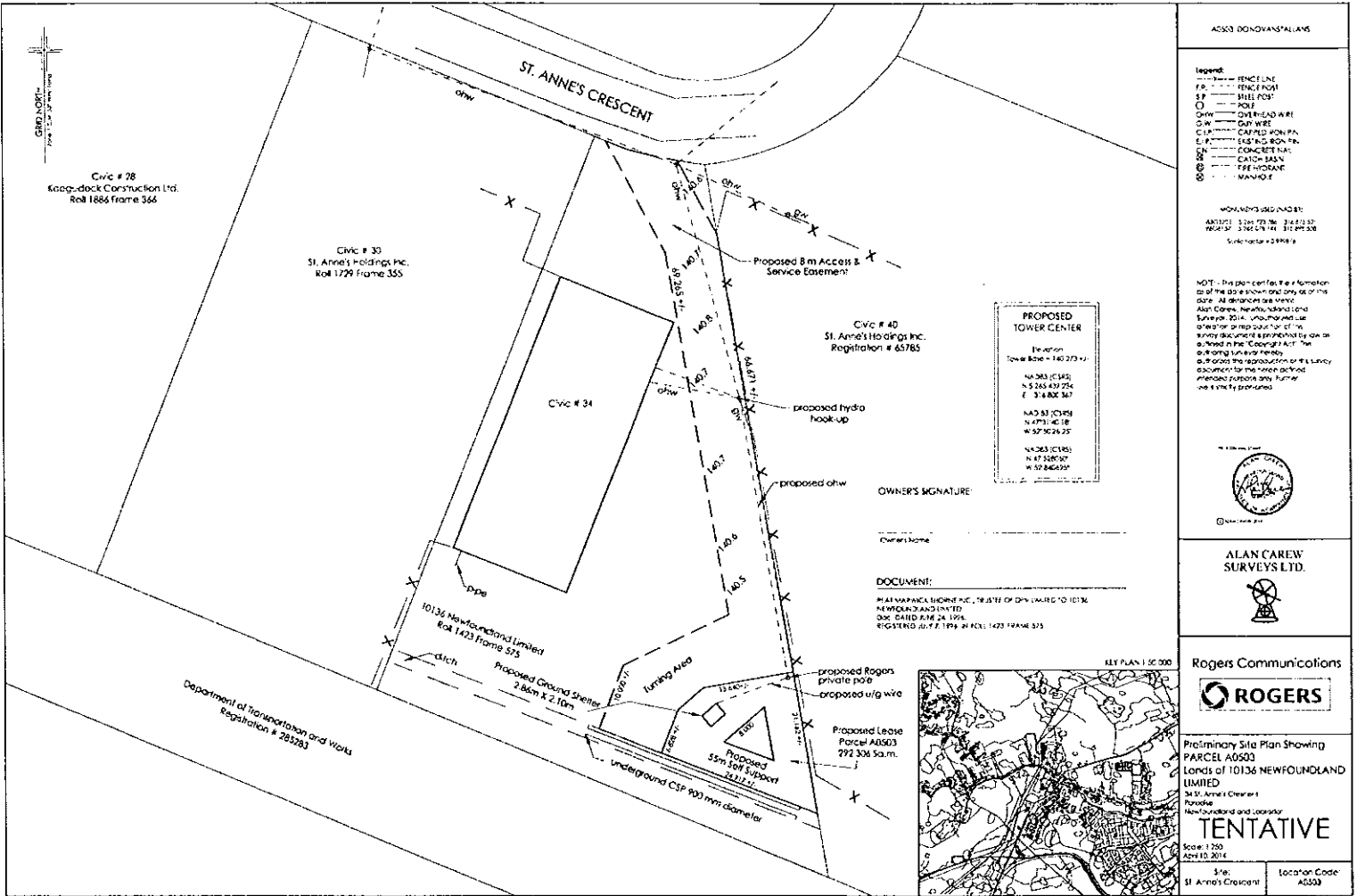
Processing Fee: Commercial / Industrial - \$250.00 per unit (Additional fees may apply after staff review of the application. The Town of Paradise does not accept credit card payments. We accept cheque, cash or debit only.)

Office Use Only Receipt # Zoning (i.e. CL/I, CL, IG)
Discretionary Use req'd: Yes / No DA required: Yes / No Scanned: Yes / No
Variance req'd: Yes / No Variance %: Staff initial:

Annex 1: Location of the proposed telecommunications tower



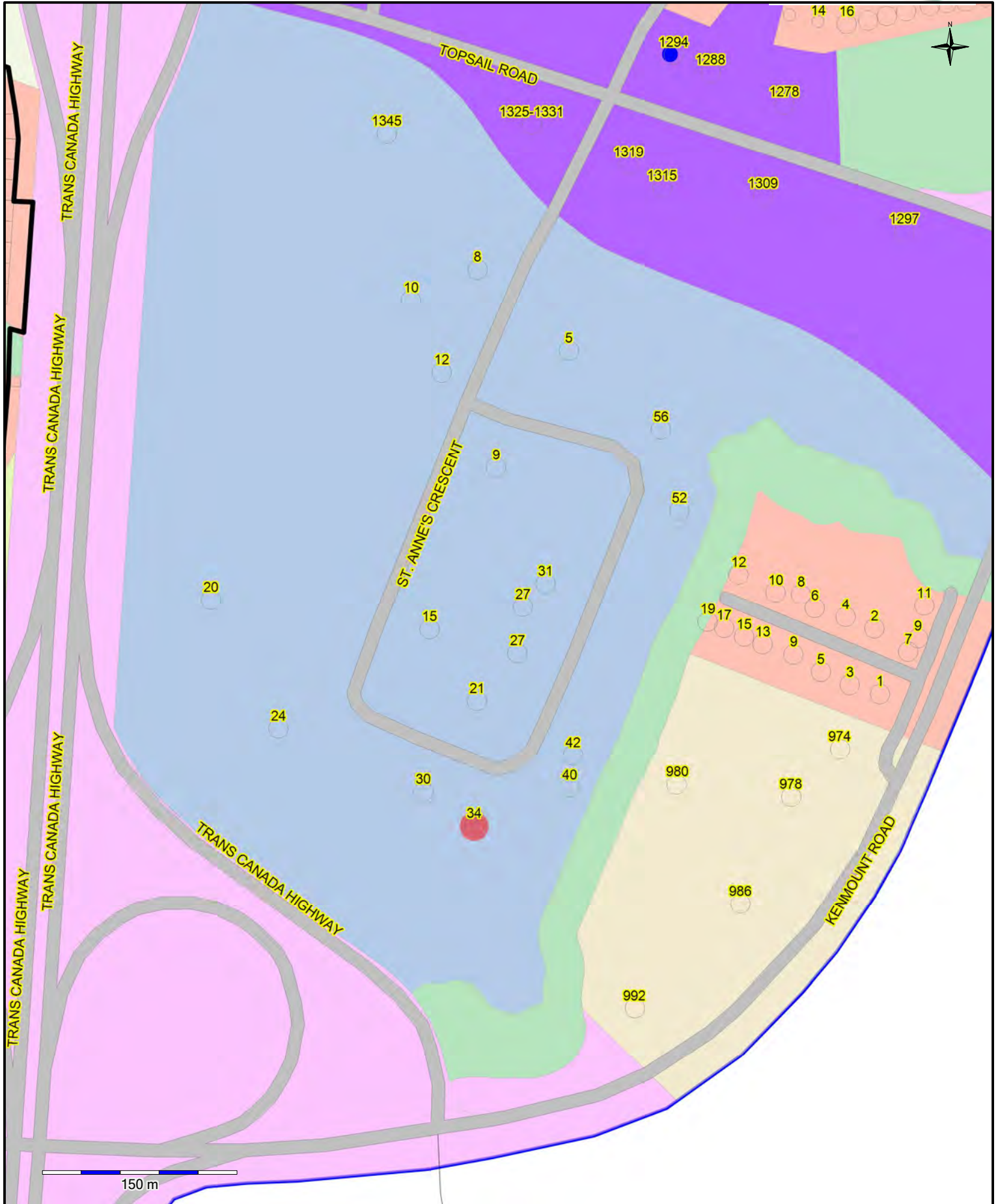
# Annex 2: Land surveying plan





# 34 St. Annes Crescent

Zoning: Industrial General





**NOTICE OF DISCRETIONARY USE APPLICATION**  
**Antenna - Cell Tower**  
**34 St. Anne's Crescent**

The Town of Paradise has received an application for approval of a 45 meter high cell tower on an industrial lot on St Anne's Crescent. The subject property is located within the Industrial General (IG) Use zone. Antennas are considered as a discretionary use in this zone. The service will be provided by Rogers Communications.

A detailed information package is available at the Town Hall, and for download in the 'Planning Notices' section of the Town of Paradise website under the 'Town Hall' tab.

This Notice of Discretionary Use is advertised in accordance with Sections 34 and 91 of the Town of Paradise Development Regulations, 2004. Any person who wishes to comment on the proposed development is asked to contact the Town of Paradise in writing by 4:00 p.m., Friday, March 2, 2018. Please submit all correspondence to:

C. Keith Saunders  
Planning Technician  
Department of Planning & Protective Services  
Telephone: (709) 782 - 3534  
Facsimile: (709) 782 - 3603  
ksaunders@paradise.ca



Commercial / Industrial Development Approval / Building Permit Application

Development Location: 3451. Anne's Crescent Application No. C2018-026

Development Approval [X] Approval in Principle [ ] Building Permit [X]

Commercial [X] Industrial [ ] Renovation / Tenant Fit-Up [ ] Demolition [ ] Driveway/culvert [ ]

Owner [ ] Occupant [X] Contractor [ ]
Name: Rogers Communications Email: m.kirkland@ata.ca
Mailing Address: 40 Kirkland Balsom Postal Code: A1B4W2 Phone: 738-1000
Legal Business Name: 21 News Place St. John's Operating Name:
\*Proposed Use: Communications Description of proposed work: 45 meter tower self-support tower
New Occupancy [X] Change of Location [ ] (If yes, previous location)
New Business [ ] Expansion of Existing [ ] # of employees
Do you wish to be contacted by the Economic Development Officer? Yes [ ] No [X]
Note: If the applicant is not the registered land owner, the application will not be accepted without the written consent of the owner.

Proposed Means of Access: Existing Access [X] New Access (Culvert) [ ]
Description of land to be developed:
Frontage: (m/ft.) Depth: (m/ft.) Area: (m^2/ft^2) As per Survey Attached: [X]
Construction Information
Est. Value of Work: \$200,000 Heating Type: N/A
Building dimensions: (L) m/ft (W) m/ft (H) m/ft
Proof of Ownership or Purchase and Sale Agreement included: Yes [ ] No [ ]
Two sets of site plans submitted: Yes [ ] No [ ] # of Parking stalls: # of washrooms:
Proposed Means of Servicing
Municipal Sanitary Sewer: [ ] \*On-site Septic Disposal System: [ ]
Municipal Water: [ ] \*On-site Drilled Well: [ ]
Municipal Storm: [ ] Weeping Tile to Dry Pit or Other:
\*Service NL approval required for on-site well & septic sewerage disposal

I/We, Rogers Communications, the applicant(s) named herein, do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, and that the location and plot plan submitted correctly sets out the location of the development on. I/we make this solemn declaration, conscientiously believing to be true and correct, as the true owner of the property owner, and knowing that it is of the same force and effect as if signed by the owner.

Processing Fee: Commercial / Industrial - \$250.00 per unit (Additional fees may apply after staff review of the application. The Town of Paradise does not accept credit card payments. We accept cheque, cash or debit only.)

Office Use Only Receipt # Zoning (i.e. CL/I, CL, IG)
Discretionary Use req'd: Yes / No DA required: Yes / No Scanned: Yes / No
Variance req'd: Yes / No Variance %: Staff initial:



**Commercial & Industrial Development**

All development, either commercial, industrial, or tenant fit-up in the Town of Paradise requires a permit. All applications received are reviewed by the Planning and Protective Services Department for compliance with the Town of Paradise Municipal Plan and Development Regulations, and where required, issuance of a development approval. Once the development approval process is completed, the application is referred to the Building Inspectors for review and issuance of required building permits. Service NL\* approval (i.e. Fire/Life Safety, Building Accessibility, Environmental Health) is required prior to the issuance of a building permit.

Applications for Demolition permits for any building built before 1985 will require certification that asbestos was not present or has been removed.

When the permit has been prepared, the applicant will be called to remit the building permit fees and pick up the permit. Security deposits and any other applicable fees, as per the Town of Paradise Fee Schedule, are also collected at this time.

**Electrical** - All electrical work will require an Electrical Permit from Service NL\*.

**Plumbing** - All plumbing work must be completed by a qualified journeyman plumber licensed to work within the Town of Paradise. Applications for plumbing contractor's license will require proof of insurance coverage. Plumbing permit fees, as per the Fee Schedule, can be viewed on the Town of Paradise website, [www.paradise.ca](http://www.paradise.ca) or picked up at Town Hall.

**Occupancy Permit** - All occupancies of buildings within the Town of Paradise will require an Occupancy Permit. A final inspection, including receipt of all required certifications, is required to ensure compliance to all regulations and building codes prior to issuance of an Occupancy Permit.

**Variations and Discretionary Uses** - require advertising, and the applicant will be required to pay the \$200.00 advertising fee before the ad will be sent for publication.

<b>If applicable - Tenant information</b>	
Name: _____	Email: _____ Phone: _____
Mailing Address: _____	Postal Code: _____
Business Name: _____	Name of NL registered company, if different from
Business name: _____	

\*Service NL - Office Location: 149 Smallwood Drive, Mount Pearl Mailing Address: P.O. Box 8700, St. John's A1B 4J6 (709) 729-3699 - [servicenlinfo@gov.nl.ca](mailto:servicenlinfo@gov.nl.ca)

<b>Registered Owner:</b> <input type="checkbox"/>
Name: _____ Email: _____
Company: _____ Daytime Phone: _____ Cell Phone: _____
Mailing Address: _____ Postal Code: _____
I, _____ am the registered owner of the property in this application, and hereby give my consent to the application being made on my behalf.

**AUTHORIZATION**

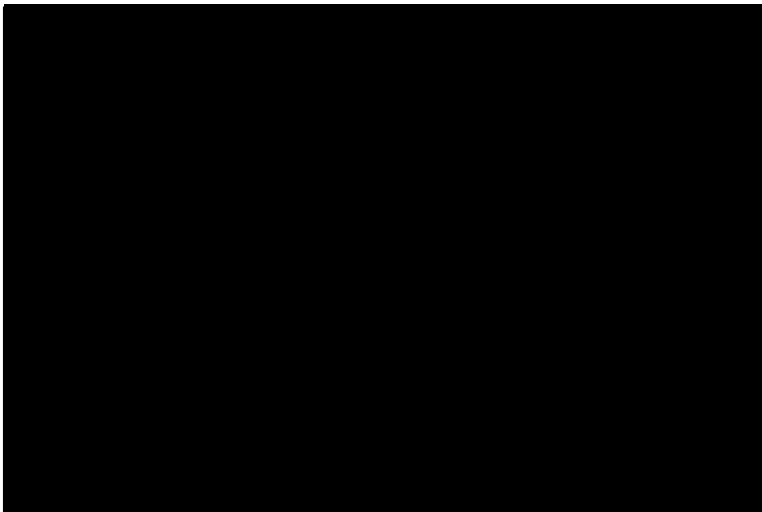
Rogers' site name: **DONOVANS\*Allans**  
And location code number: **(A0503)**

Site Address: **34 Ste. Annes Crescent, Paradise, NL A1B 3T2**

Landlord's Name and Address: **John D. Allan Limited**  
**151 Crosbie Road, 2nd floor**  
**St. John, NL A1B 4B4**

Telephone: **709-726-9872**  
Email: **Jda@nf.aibn.com**

We hereby authorise Rogers Communications inc., or its agents (Genivar, DESSAU, Gascon A.-G. Inc., etc.), to apply to any public organisation concerned, for all approvals, authorizations, plans, and/or permits required to install telecommunication equipment at the above mentioned address



*May 20 / 14*  
Date

TOWN OF PARADISE  
28 MCNAMARA DRIVE  
PARADISE NL A1L 0A6  
(709) 782-1400

KIRKLAND BALSOM & ASSOCIATES  
21 MEWS PLACE  
ST. JOHNS, NL NL A1B 4N2

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INVOICE

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Account #: KIRKL001  
Current Amount: 450.00  
Total: 450.00  
Amount Paid: \$

Receipt # 628368

Printed Date: Jan 26, 2018  
Page 1 of 1

Invoice Number	Source	Description	Invoice Date	Due Date	Quantity	Unit Cost	Cost
2018487482	KIRKL001	FEES & PERMITS [5110-0000]	01/26/2018	01/26/2018	1.00	450.0000	450.00
ADVERTISING & PROCESSING - 34 ST. ANNE'S CRESCENT							
						<b>Subtotal:</b>	<b>450.00</b>
						<b>Total:</b>	<b>450.00</b>

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ADVERTISING & PROCESSING - 34 ST. ANNE'S CRESCENT

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Signup online to view your invoices anywhere, anytime. Simply go to <https://paradise.ws.townsuite.com/> click on the signup now link.

You will be prompted to enter your signup key: **G4GZCLXY**





## DEVELOPMENT APPROVAL

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Applicant: Rogers Communications, Inc

Date of Issue: November 3, 2014

Application #: DA14-949

Expiry Date: November 3, 2015

The Council has considered your application dated September 10, 2014 for development approval to construct a cellular tower at **34 St Anne's Crescent**, and hereby grants approval of the proposal, subject to the conditions attached hereto.

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT.**

**An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NF, A1B 4J6. A fee of \$113.00 (\$100.00 plus \$13.00 HST), must be remitted along with the appeal.** Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.


A handwritten signature in blue ink that reads "A. Kealy Saunders".

Signature of Town Clerk or  
Authorized Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**

## DEVELOPMENT REGULATIONS CONDITIONS (DA14-949)

1. With the exception of the 45 m height of the cell tower, the development must comply with the standards of the Industrial General Use zone in the Town of Paradise Development Regulations, 2004.
2. Construction of the tower must be in accordance with the requirements of Industry Canada, the Radio Communications Act and, if applicable, the current edition of the **National Building Code of Canada**.
3. Prior to the issuance of a building/renovation permit, the applicant must submit the following:
  - 3.1 Proof of lease agreement of the amount of land/building as shown on the application.
  - 3.2 Two sets of professionally engineered building plans.
4. **The development authorized by this permit shall not be used or occupied without an Occupancy Permit from the Town of Paradise.**
5. Any placard issued by the Town of Paradise relating to the work authorized by this or any other permit must be displayed in full public view on the site.
6. This permit does not authorize the use or occupancy of Crown Land or other lands without a lease or grant from the Crown or permission of the owner.
7. The issue of this permit does not exempt the applicant from obtaining any other permits or approvals required by law.
8. Should the tower be dismantled at a future date for any reason, the Council of the Town of Paradise is to be advised a minimum of 30 days of the date the tower is to be dismantled.

  
Signature of Town Clerk or  
Authorized Municipal Officer