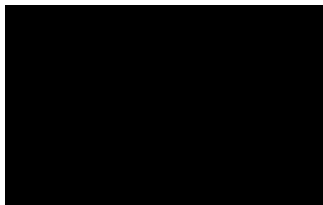




**Response to Applicant  
Form 4A**

September 23, 2024



Re: Your request for access to information under Part II of the **Access to Information and Protection of Privacy Act, 2015** [Our File # 2024-17]

---

On August 23, 2024, the Town of Paradise received your request for access to the following records/information:

*Any and all documents pertaining to the Mercury Street neighborhood development. Including drawings, approvals and zoning information.*

I am pleased to inform you that a decision has been made by the ATIPP Coordinator for the Town of Paradise to provide access to the requested records.

Please be advised that you may ask the Information and Privacy Commissioner to review the processing of your access request, as set out in section 42 of the Access to Information and Protection of Privacy Act, 2015 (the Act). The address and contact information of the Information and Privacy Commissioner is as follows:

Office of the Information and Privacy Commissioner  
2 Canada Drive  
P. O. Box 13004, Stn. A  
St. John's, NL. A1B 3V8

Telephone: (709) 729-6309  
Toll-Free: 1-877-729-6309  
Facsimile: (709) 729-6500

You may also appeal directly to the Supreme Court within 15 business days after you receive the decision of the public body, pursuant to section 52 of the Act.

If you have any further questions, please feel free to contact me by telephone or by email.

Sincerely,

A handwritten signature in black ink that reads "Terrilynn Smith".

Terrilynn Smith  
ATIPP Coordinator

# GRAND MEADOWS

## STAGE 5

Paradise, NL

CLIENT:

**LaurMax Developments Inc.**

### DRAWING LIST

- C1 GENERAL PLAN
- C2 LOT LAYOUT & DIMENSION PLAN
- C3 LOT GRADING PLAN
- C4 STORM, SANITARY SEWERAGE & WATER SUPPLY - STREET 'A'
- C5 STORM, SANITARY SEWERAGE & WATER SUPPLY - TYRELL DRIVE
- C6 STORM & SANITARY SEWERAGE SUPPLY - SERVICE EASEMENT
- D1 CONSTRUCTION DETAILS - 01
- D2 CONSTRUCTION DETAILS - 02
- D3 CONSTRUCTION DETAILS - 03

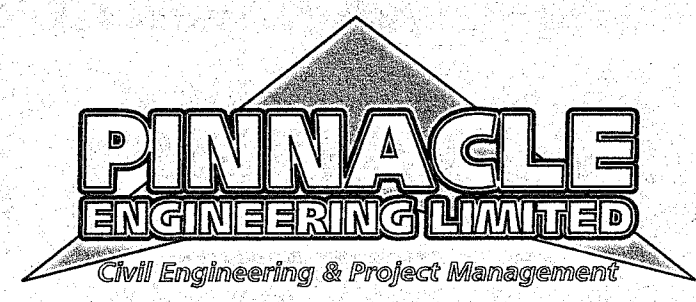


Suite 202, 40 Aberdeen Avenue  
St. John's, NL, Canada A1A 5T3  
Tel: (709) 754-2114  
Fax: (709) 738-0707  
Email: keith.hannon@pinnacleengineering.ca

**Project No. 13022**

**MAY 2014**

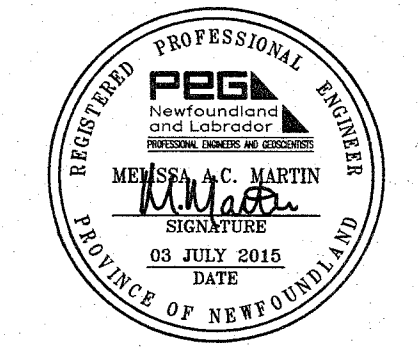




NOTES  
1. ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.

3	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
2	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15
1	REVISIONS AS PER MUNICIPALITY COMMENTS	24/02/15
0	ISSUED FOR REVIEW	29/07/14
NO.	REVISIONS	DATE

PROFESSIONAL STAMP



PROVINCE OF NEWFOUNDLAND  
PERMIT HOLDER  
Class "A"  
This Permit Allows  
PINNACLE ENGINEERING LIMITED  
To practice Professional Engineering  
in Newfoundland and Labrador.  
Permit No. as issued by PEGNL L0331  
which is valid for the year 2015.

CLIENT  
**LaurMax Developments Inc.**

PROJECT TITLE  
**GRAND MEADOWS  
STAGE 5**

SHEET TITLE  
**GENERAL PLAN**

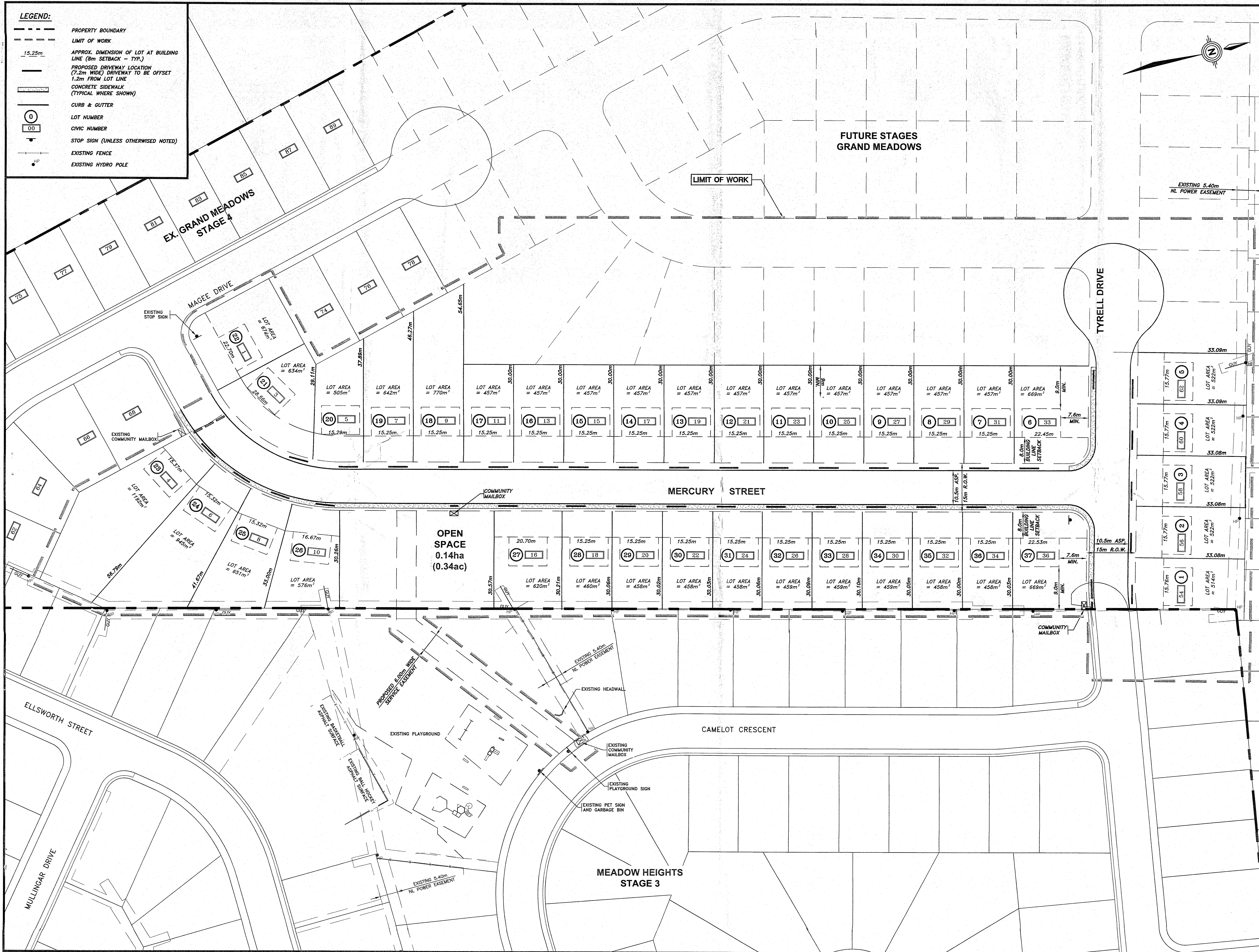
PROJECT NO.  
**13022**

DRAWN BY  
SDB  
CHECKED BY  
KHH

DATE  
APRIL 2014  
DRAWING NO.  
**C1**

SCALE  
1 : 2000





**LEGEND:**

- PROPERTY BOUNDARY
- LIMIT OF WORK
- APPROX. DIMENSION OF LOT AT BUILDING LINE (8m SETBACK - TYP.)
- PROPOSED DRIVEWAY LOCATION (7.2m WIDE) DRIVEWAY TO BE OFFSET 1.2m FROM LOT LINE
- CONCRETE SIDEWALK (TYPICAL WHERE SHOWN)
- CURB & GUTTER
- LOT NUMBER
- CIVIC NUMBER
- STOP SIGN (UNLESS OTHERWISE NOTED)
- EXISTING FENCE
- EXISTING HYDRO POLE

Civil Engineering & Project Management

NOTES

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER & ROAD SPECIFICATIONS.
- ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.

NO.	REVISIONS	DATE
3	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
2	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15
1	REVISIONS AS PER MUNICIPALITY COMMENTS	24/02/15
0	ISSUED FOR REVIEW	29/07/14

PROFESSIONAL STAMP

PROVINCE OF NEWFOUNDLAND

PERMIT HOLDER

Class "A"

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PINNACLE ENGINEERING LIMITED

To practice Professional Engineering in Newfoundland and Labrador. Permit No. as issued by PEGNL 10331 which is valid for the year 2015.

CLIENT

LaurMax Developments Inc.

PROJECT TITLE

GRAND MEADOWS STAGE 5

SHEET TITLE

LOT LAYOUT & DIMENSION PLAN

PROJECT NO.

13022

DRAWN BY	CHECKED BY
SDB	KHH
DATE	DRAWING NO.
APRIL 2014	C2
SCALE	
1:500	



- NOTES
1. TOPOGRAPHIC SURVEY OF JUNE 2013 BY BROWN AND WAY SURVEYS.
  2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER & ROAD SPECIFICATIONS.
  3. PROPOSED REAR GRADES OF THE PROPOSED DEVELOPMENT TO MATCH EXISTING GRADES OF ADJUTING PROPERTIES.
  4. DESIGN GRADES FOR LOT PROVIDED AT KEY LOCATION ONLY. GRADE LOTS TO SHED WATER AWAY FROM HOUSE IN ACCORDANCE WITH NATIONAL BUILDING CODE.
  5. ALL TRAFFIC CONTROL SIGNAGE WITHIN PUBLIC STREET R.O.W. TO BE INSTALLED BY CONTRACTOR. SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH TOWN OF PARADISE ENGINEERING DESIGN GUIDELINES FOR SUBDIVISIONS.
  6. HOME BUILDER TO ENSURE FROST WALL CONSTRUCTION ADHERES TO LOT GRADING PLAN.
  7. ALL ELEVATIONS INDICATED ARE REFERENCED TO GEODATIC DATUM.
  8. CONTRACTOR RESPONSIBLE TO SECURE SITE DURING CONSTRUCTION FOR PUBLIC SAFETY.
  9. NO WORK PERMITTED WITHIN ADJACENT PROPERTY WITHOUT APPROVAL FROM OWNER. DEVELOPER TO OBTAIN NECESSARY APPROVALS.
  10. HOUSE CONTRACTOR TO CONFIRM LOT SERVICE ELEVATIONS PRIOR TO CONSTRUCTION OF HOUSE FOOTING/FOUNDATION.
  11. SEE DWGS. D2 & D3 FOR TYPICAL SECTIONS OF LOTS.
  12. ALL IN-HOUSE GARAGE'S MUST BE SET AT MINIMUM 0.45m ABOVE TOP OF CURB.
  13. ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.
  14. CONTRACTOR TO PROVIDE A 2.0m WIDE CURB DEPRESSION TO ENSURE BARRIER FREE ACCESS. AN AREA OF APPROXIMATELY 1.5m x 2.5m EASEMENT IS REQUIRED FOR EACH MAILBOX SITE.
  15. 2:1 SLOPING IS REQUIRED TO BE LANDSCAPED WITH TOPSOIL AND SOD PRIOR TO BUILDING PERMIT BEING RELEASED AS PER THE TOWN OF PARADISE LANDSCAPING POLICY.

3	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
2	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15
1	REVISIONS AS PER MUNICIPALITY COMMENTS	24/02/15
0	ISSUED FOR REVIEW	29/07/14
NO.	REVISIONS	DATE

PROFESSIONAL STAMP



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PERMIT HOLDER  
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which is valid for the year 2015.

CLIENT

LaurMax Developments Inc.

PROJECT TITLE

GRAND MEADOWS  
STAGE 5

SHEET TITLE

LOT GRADING PLAN

PROJECT NO.

13022

DRAWN BY

SDB

CHECKED BY

KHH

DATE

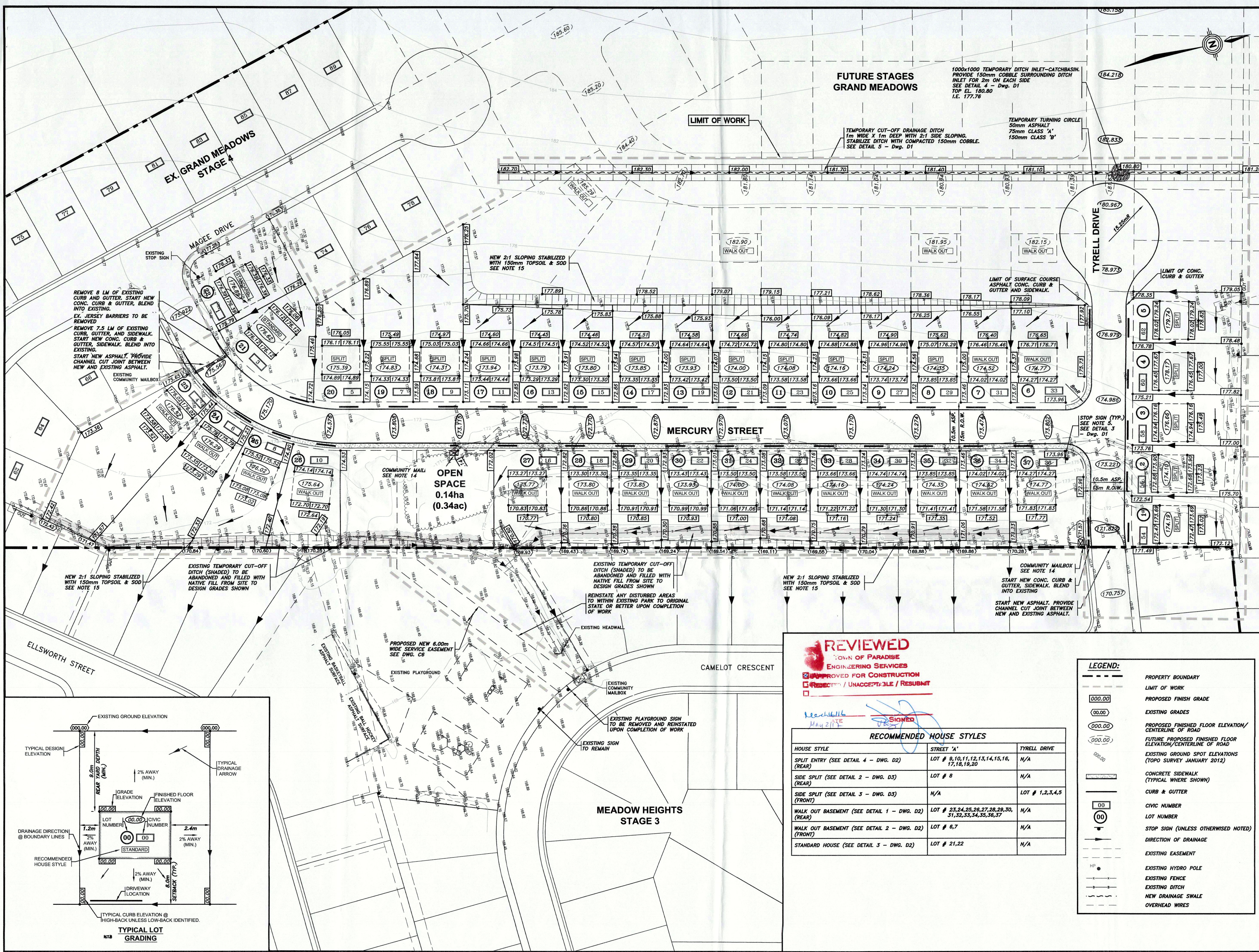
APRIL 2014

DRAWING NO.

C3

SCALE

1 : 500

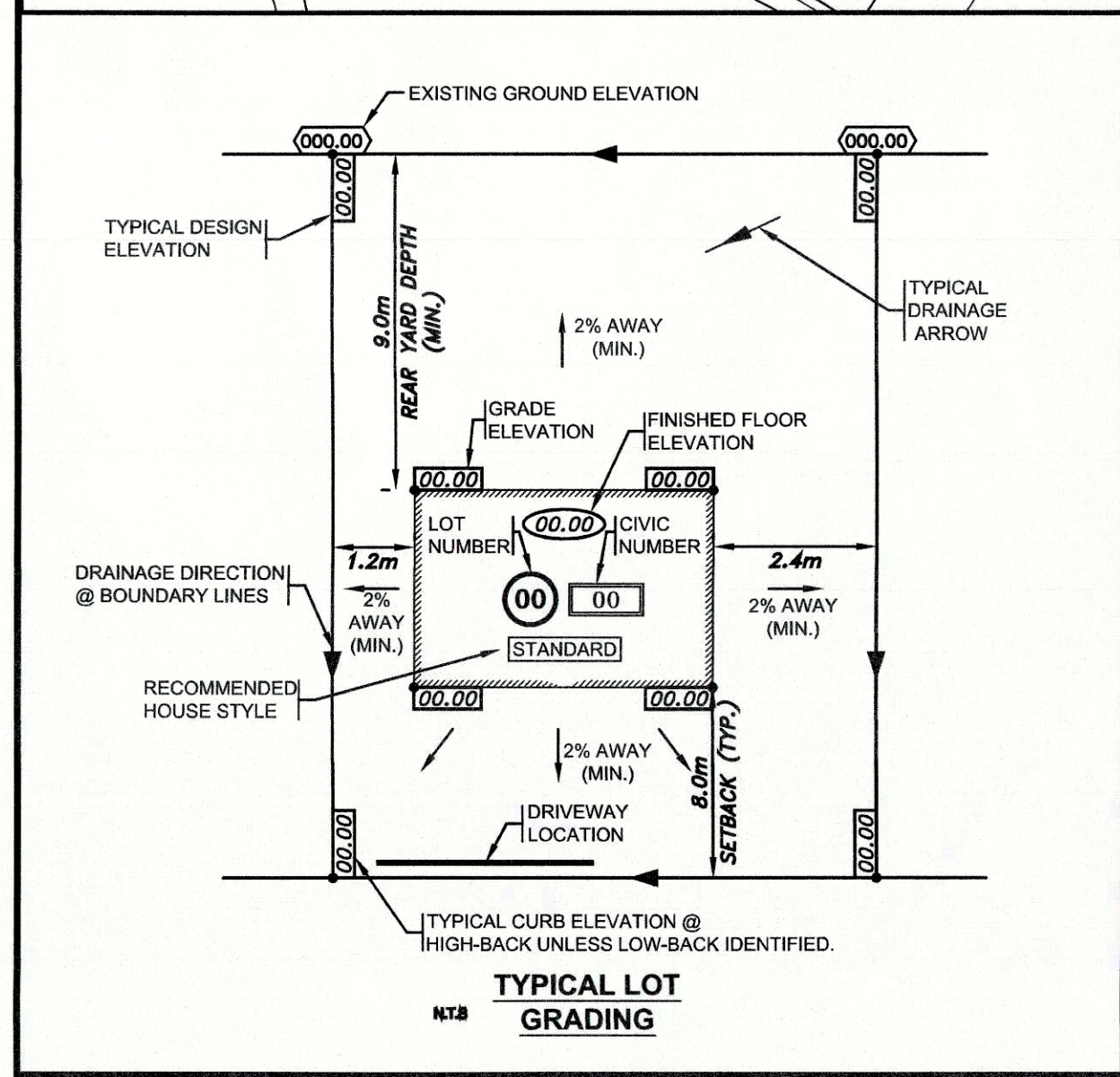


**REVIEWED**  
TOWN OF PARADISE  
ENGINEERING SERVICES  
**APPROVED FOR CONSTRUCTION**  
REJECTION / UNACCEPTABLE / RESUBMIT

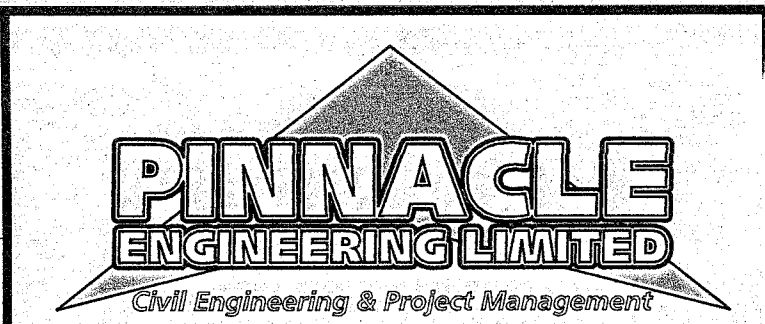
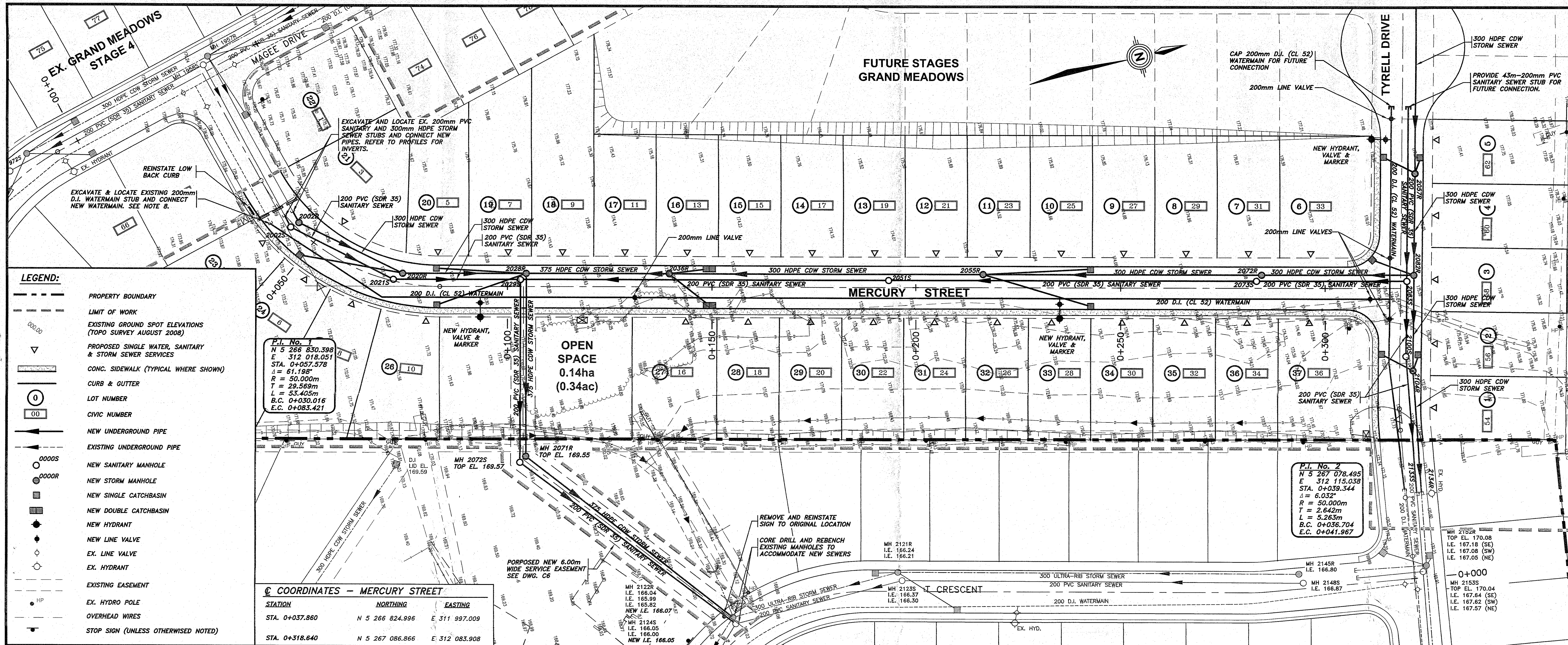
*Revised*  
May 21/15

RECOMMENDED HOUSE STYLES		
HOUSE STYLE	STREET "A"	TYRELL DRIVE
SPLIT ENTRY (SEE DETAIL 4 - DWG. D2)	LOT # 9,10,11,12,13,14,15,16, 17,18,19,20	N/A
SIDE SPLIT (SEE DETAIL 2 - DWG. D3)	LOT # 8	N/A
SIDE SPLIT (SEE DETAIL 3 - DWG. D3)	N/A	LOT # 1,2,3,4,5
WALK OUT BASEMENT (SEE DETAIL 1 - DWG. D2)	LOT # 23,24,25,26,27,28,29,30, 31,32,33,34,35,36,37	N/A
WALK OUT BASEMENT (SEE DETAIL 2 - DWG. D2)	LOT # 6,7	N/A
STANDARD HOUSE (SEE DETAIL 3 - DWG. D2)	LOT # 21,22	N/A

- LEGEND:**
- PROPERTY BOUNDARY
  - LIMIT OF WORK
  - PROPOSED FINISH GRADE
  - EXISTING GRADES
  - PROPOSED FINISHED FLOOR ELEVATION/ CENTERLINE OF ROAD
  - FUTURE PROPOSED FINISHED FLOOR ELEVATION/CENTERLINE OF ROAD
  - EXISTING GROUND SPOT ELEVATIONS (TOPO SURVEY JANUARY 2012)
  - CONCRETE SIDEWALK (TYPICAL WHERE SHOWN)
  - CURB & GUTTER
  - CIVIC NUMBER
  - LOT NUMBER
  - STOP SIGN (UNLESS OTHERWISE NOTED)
  - DIRECTION OF DRAINAGE
  - EXISTING EASEMENT
  - EXISTING HYDRO POLE
  - EXISTING FENCE
  - EXISTING DITCH
  - NEW DRAINAGE SWALE
  - OVERHEAD WIRES

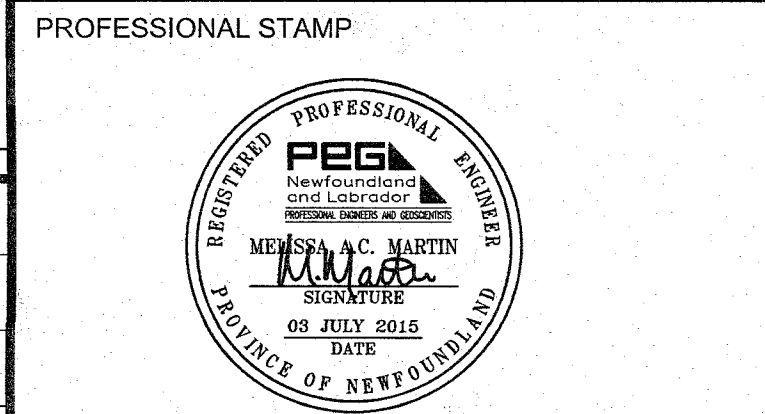






- NOTES
1. TOPOGRAPHIC SURVEY OF JUNE 2013 BY BROWN AND WAY SURVEYS.
  2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER AND ROAD SPECIFICATIONS.
  3. CONTRACTOR TO ARRANGE TO HAVE LEGAL SURVEYOR ESTABLISH PROPERTY BOUNDARIES AND STREET CONTROL POINTS (PCP) BEFORE PROCEEDING WITH WORK.
  4. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND PIPES TO ENSURE THERE ARE NO CONFLICTS.
  5. MANHOLE SIZES TO BE CONFIRMED BY SUPPLIER. SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL.
  6. PRE-CONSTRUCTION AND POST-CONSTRUCTION TV INSPECTION OF SANITARY SEWER IS REQUIRED FROM EX. MH 2153S FOR TWO PIPE RUNS DOWNSTREAM AND FOR STORM SEWER FROM MH 2152R FOR TWO PIPE RUNS DOWNSTREAM.
  7. CONTRACTOR RESPONSIBLE FOR LOCATING ANY EXISTING UNDERGROUND INFRASTRUCTURE (IE. TELEPHONE CABLE, POWER LINES AND WATERMAIN/SEWERS NOT SHOWN ON PLANS) BEFORE PROCEEDING WITH THIS WORK. ADVISE ENGINEER OF ANY CONFLICTS WITH NEW INFRASTRUCTURE.
  8. CONTRACTOR TO ARRANGE FOR TOWN FORCES TO SHUT OFF EX. DOWNSTREAM WATERMAIN VALVE PRIOR TO CONNECTION OF NEW WATERMAIN. CONTRACTOR TO CONFIRM LOCATION OF VALVE PRIOR TO ANY WATERMAIN WORK BEING COMPLETED. CONNECTION TO EX. WATERMAIN TO BE PERFORMED BY CONTRACTOR. CONTRACTOR TO PROVIDE MIN. 48 HOURS NOTICE TO TOWN FOR WATERMAIN SHUT OFF AND/OR CONNECTION REQUEST. TOWN MUST BE PRESENT DURING THE OPERATION.
  9. HYDRANTS TO BE INSTALLED BEHIND SIDEWALK WITHIN LIMITS OF STREET R.O.W. PROVIDE MIN. 1.5m FROM EDGE OF DRIVEWAY TO CENTER OF HYDRANT.
  10. CONTRACTOR RESPONSIBLE TO SECURE SITE DURING CONSTRUCTION FOR PUBLIC SAFETY.
  11. USE 25mm COPPER (TYPE 'K') WATER SERVICE.
  12. SANITARY AND STORM SERVICE LINES MUST BE 100mm DIAMETER PVC (SDR 28) AT A MINIMUM SLOPE OF 2%.
  13. WATERMAIN TO BE PLACED ON TYPE '3' BEDDING AS PER DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER AND ROAD SPECIFICATIONS.
  14. ALL DOUBLE CATCHBASIN LEAD SHALL BE 300mm DIAMETER.
  15. NO WORK PERMITTED WITHIN ADJACENT PROPERTY WITHOUT APPROVAL FROM OWNER. DEVELOPER TO OBTAIN NECESSARY APPROVALS.
  16. ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.

3	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
2	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15
NO.	REVISIONS	DATE



PROVINCE OF NEWFOUNDLAND  
PERMIT HOLDER  
Class "A"  
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Permit No. as issued by PEGNI L0331  
which is valid for the year 2015.

CLIENT  
LaurMax Developments Inc.

PROJECT TITLE  
GRAND MEADOWS  
STAGE 5

SHEET TITLE  
STORM, SANITARY SEWERAGE  
& WATER SUPPLY  
MERCURY STREET

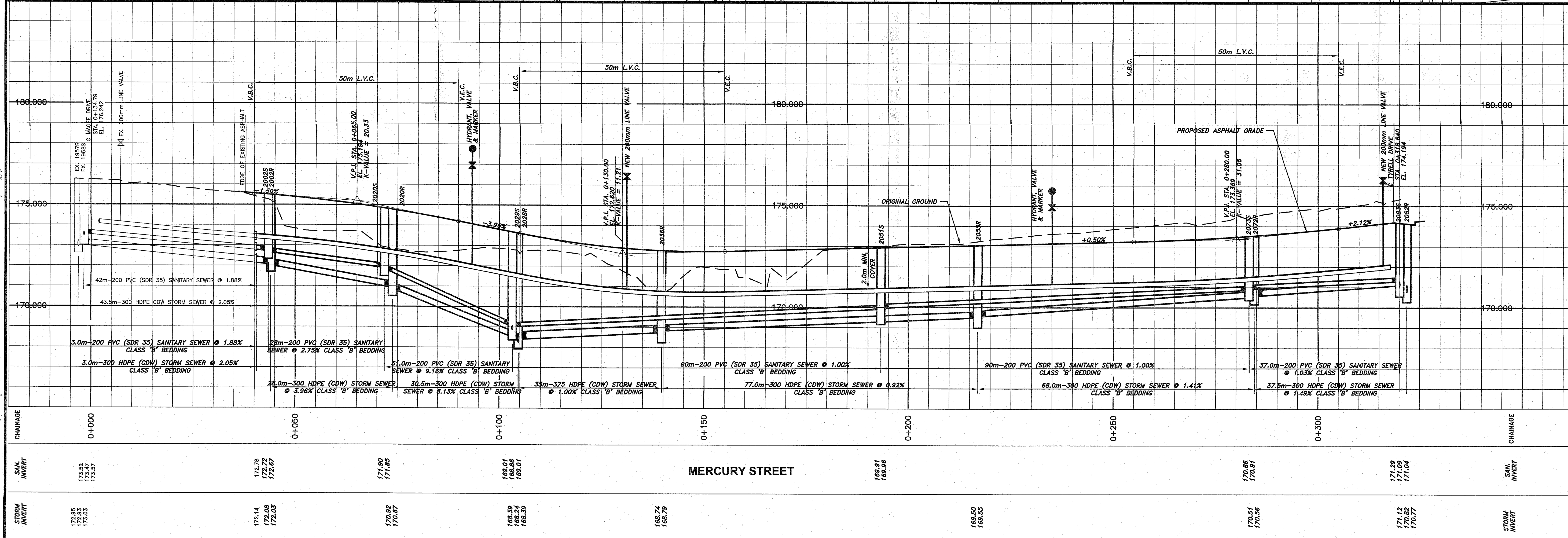
PROJECT NO.  
13022

DRAWN BY  
SDB

CHECKED BY  
KHH

DATE  
APRIL 2014

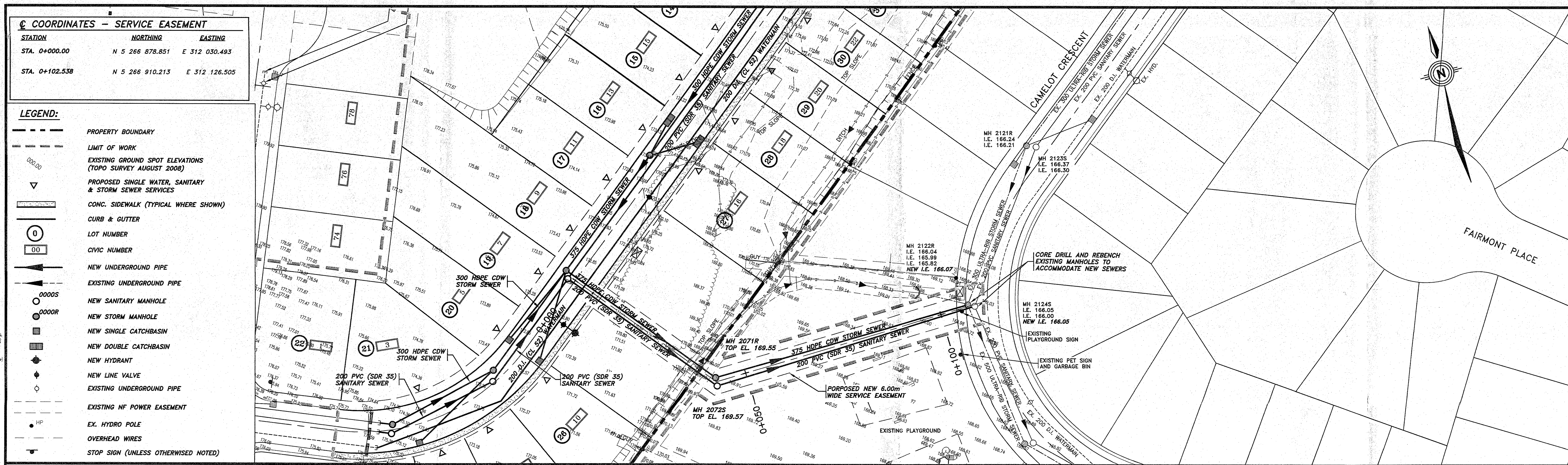
DRAWING NO.  
C4











Civil Engineering & Project Management

NOTES

1. TOPOGRAPHIC SURVEY OF JUNE 2013 BY BROWN AND WAY SURVEYS.
2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER AND ROAD SPECIFICATIONS.
3. CONTRACTOR TO ARRANGE TO HAVE LEGAL SURVEYOR ESTABLISH PROPERTY BOUNDARIES AND STREET CONTROL POINTS (PIS) BEFORE PROCEEDING WITH WORK.
4. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND PIPES TO ENSURE THERE ARE NO CONFLICTS.
5. MANHOLE SIZES TO BE CONFIRMED BY SUPPLIER. SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL.
6. PRE-CONSTRUCTION AND POST-CONSTRUCTION TV INSPECTION OF SANITARY SEWER IS REQUIRED FROM EX. MH 2153S FOR TWO PIPE RUNS DOWNSTREAM AND FOR STORM SEWER FROM AND MH 2152R FOR TWO PIPE RUNS DOWNSTREAM.
7. CONTRACTOR RESPONSIBLE FOR LOCATING ANY EXISTING UNDERGROUND INFRASTRUCTURE (IE TELEPHONE CABLE, POWER LINES AND WATERMAINSEWERS NOT SHOWN ON PLANS) BEFORE PROCEEDING WITH THIS WORK. ADVISE ENGINEER OF ANY CONFLICTS WITH NEW INFRASTRUCTURE.
8. CONTRACTOR TO ARRANGE FOR TOWN FORCES TO SHUT OFF EX. DOWNSTREAM WATERMAIN VALVE PRIOR TO CONNECTION OF NEW WATERMAIN. CONTRACTOR TO CONFIRM LOCATION OF VALVE PRIOR TO ANY WATERMAIN WORK BEING COMPLETED. CONNECTION TO EX. WATERMAIN TO BE PERFORMED BY CONTRACTOR. CONTRACTOR TO PROVIDE MIN. 48 HOURS NOTICE TO TOWN FOR WATERMAIN SHUT OFF AND/OR CONNECTION REQUEST. TOWN MUST BE PRESENT DURING THE OPERATION.
9. HYDRANTS TO BE INSTALLED BEHIND SIDEWALK WITHIN LIMITS OF STREET R.O.W. PROVIDE MIN. 1.5m FROM EDGE OF DRIVEWAY TO CENTER OF HYDRANT.
10. CONTRACTOR RESPONSIBLE TO SECURE SITE DURING CONSTRUCTION FOR PUBLIC SAFETY.
11. USE 25mm COPPER (TYPE 'K') WATER SERVICE.
12. SANITARY AND STORM SERVICE LINES MUST BE 100mm DIAMETER PVC (SDR 26) AT A MINIMUM SLOPE OF 2%.
13. WATERMAIN TO BE PLACED ON TYPE '3' BEDDING AS PER DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER AND ROAD SPECIFICATIONS.
14. ALL DOUBLE CATCHBASIN LEAD SHALL BE 300mm DIAMETER.
15. NO WORK PERMITTED WITHIN ADJACENT PROPERTY WITHOUT APPROVAL FROM OWNER. DEVELOPER TO OBTAIN NECESSARY APPROVALS.
16. ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.

3	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
2	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15
NO.	REVISIONS	DATE

PROFESSIONAL STAMP

PROFESSIONAL ENGINEER  
PEG  
NEWFOUNDLAND  
MEMBER  
MELISSA C. MARTIN  
SIGNATURE  
03 JULY 2015  
DATE  
PROVINCE OF NEWFOUNDLAND

PERMIT HOLDER  
Class "A"  
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Permit No. as issued by PEGNL L0331  
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CLIENT

LaurMax Developments Inc.

PROJECT TITLE

GRAND MEADOWS  
STAGE 5

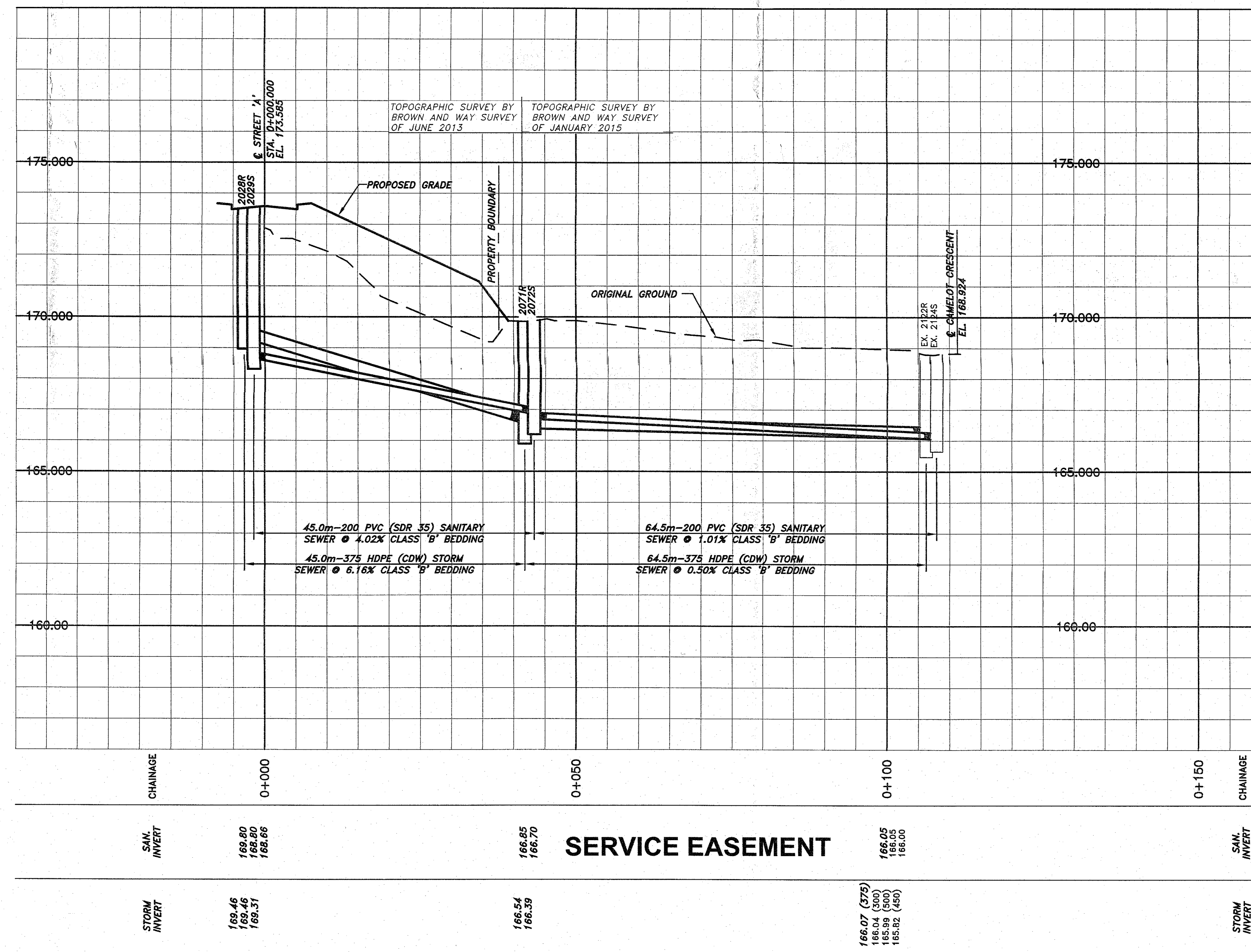
SHEET TITLE

STORM & SANITARY  
SEWERAGE SUPPLY  
SERVICE EASEMENT

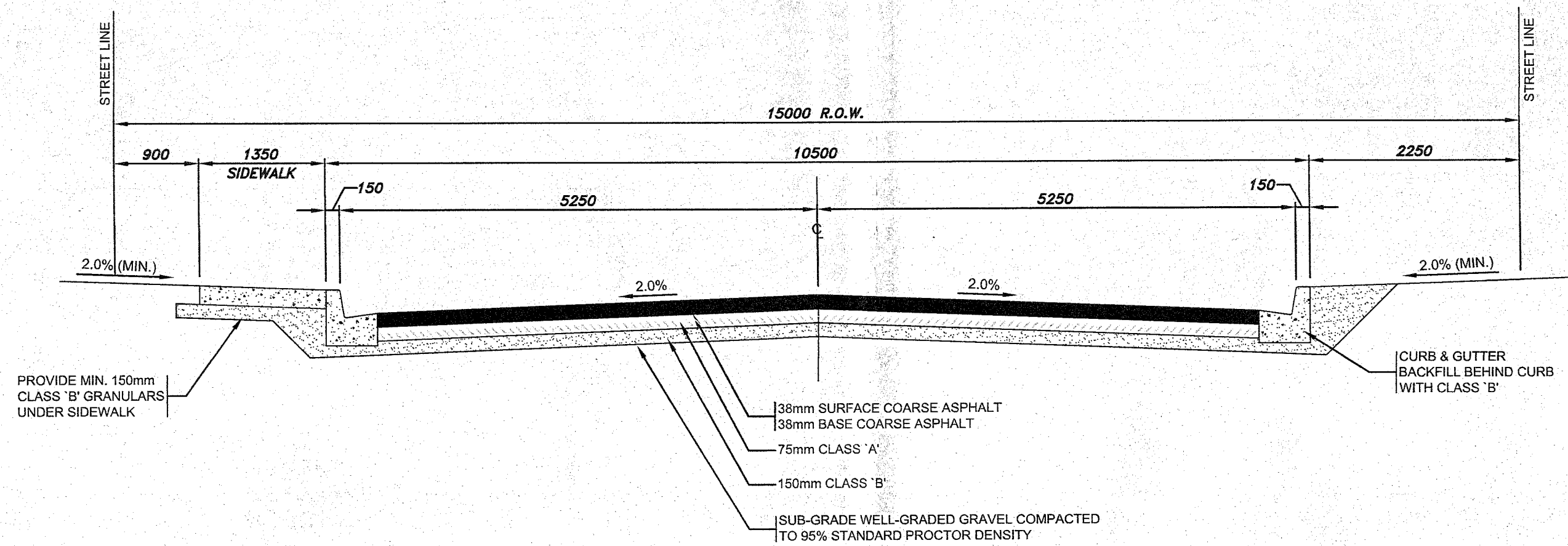
PROJECT NO.

13022

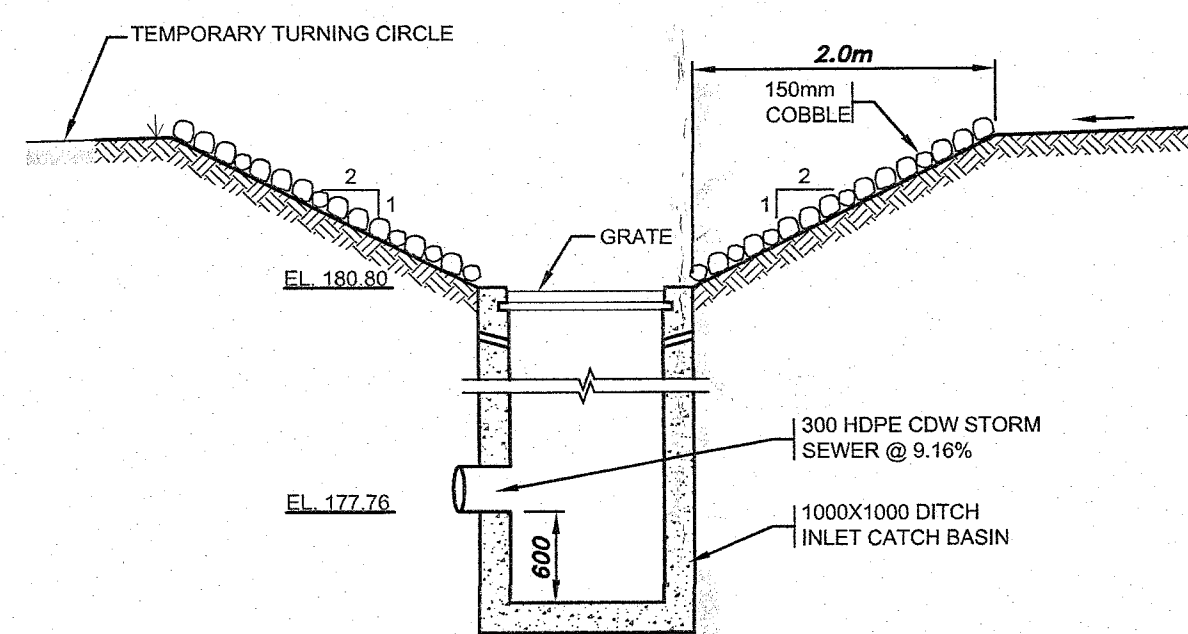
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DATE APRIL 2014	DRAWING NO. C6
SCALE 1 : 500	



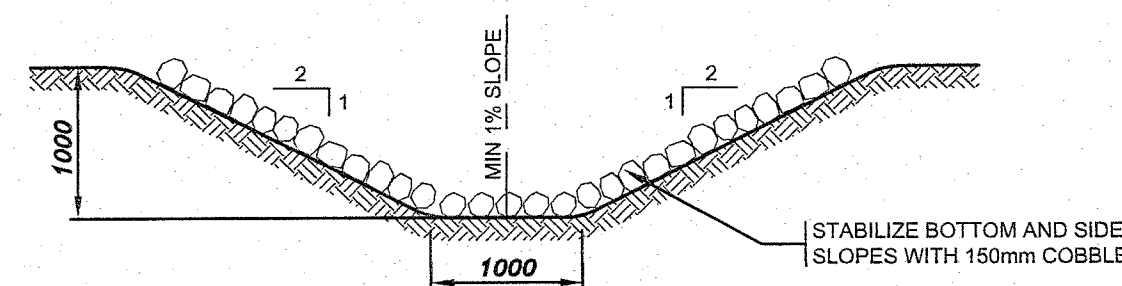




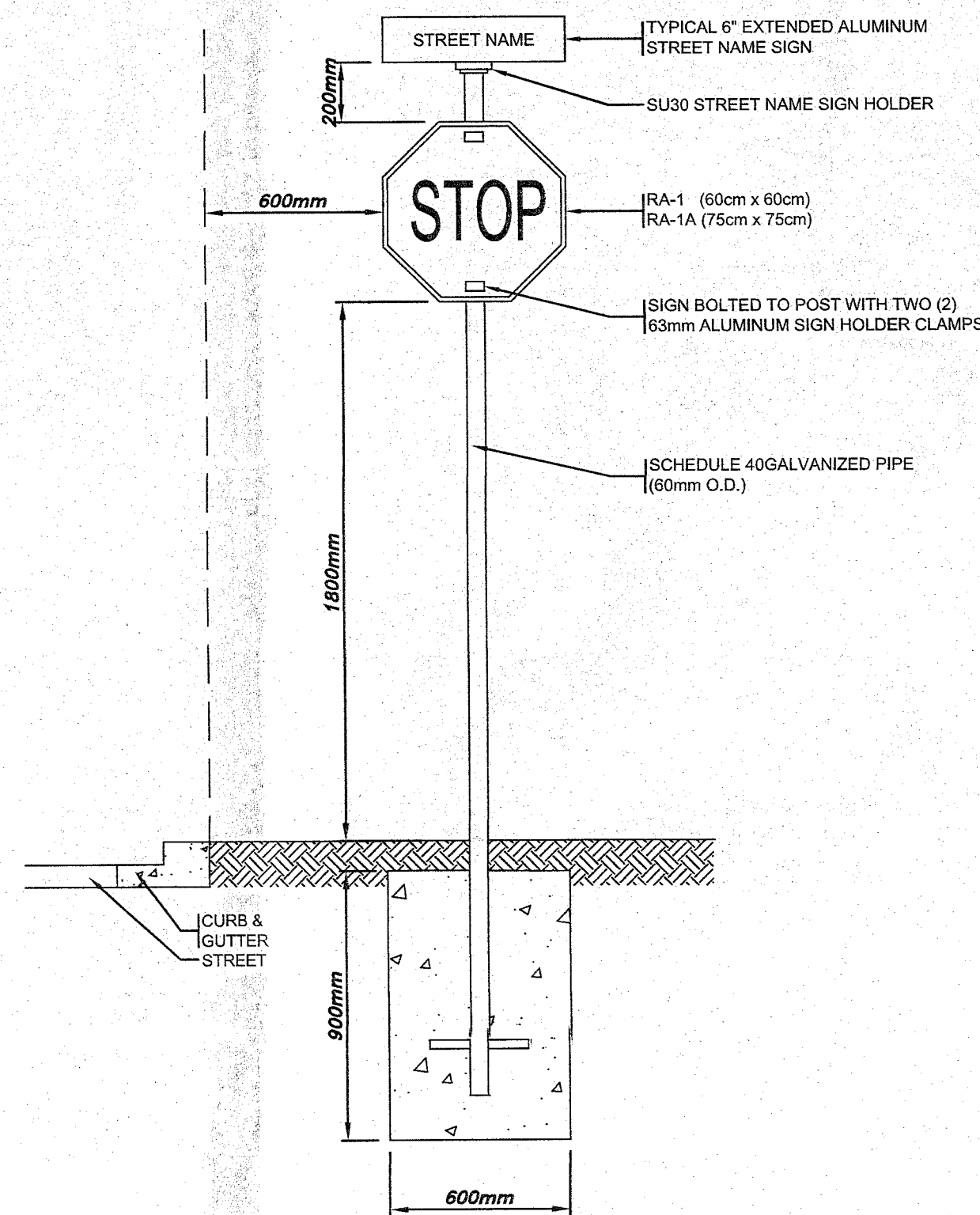
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SCALE: 1 : 50



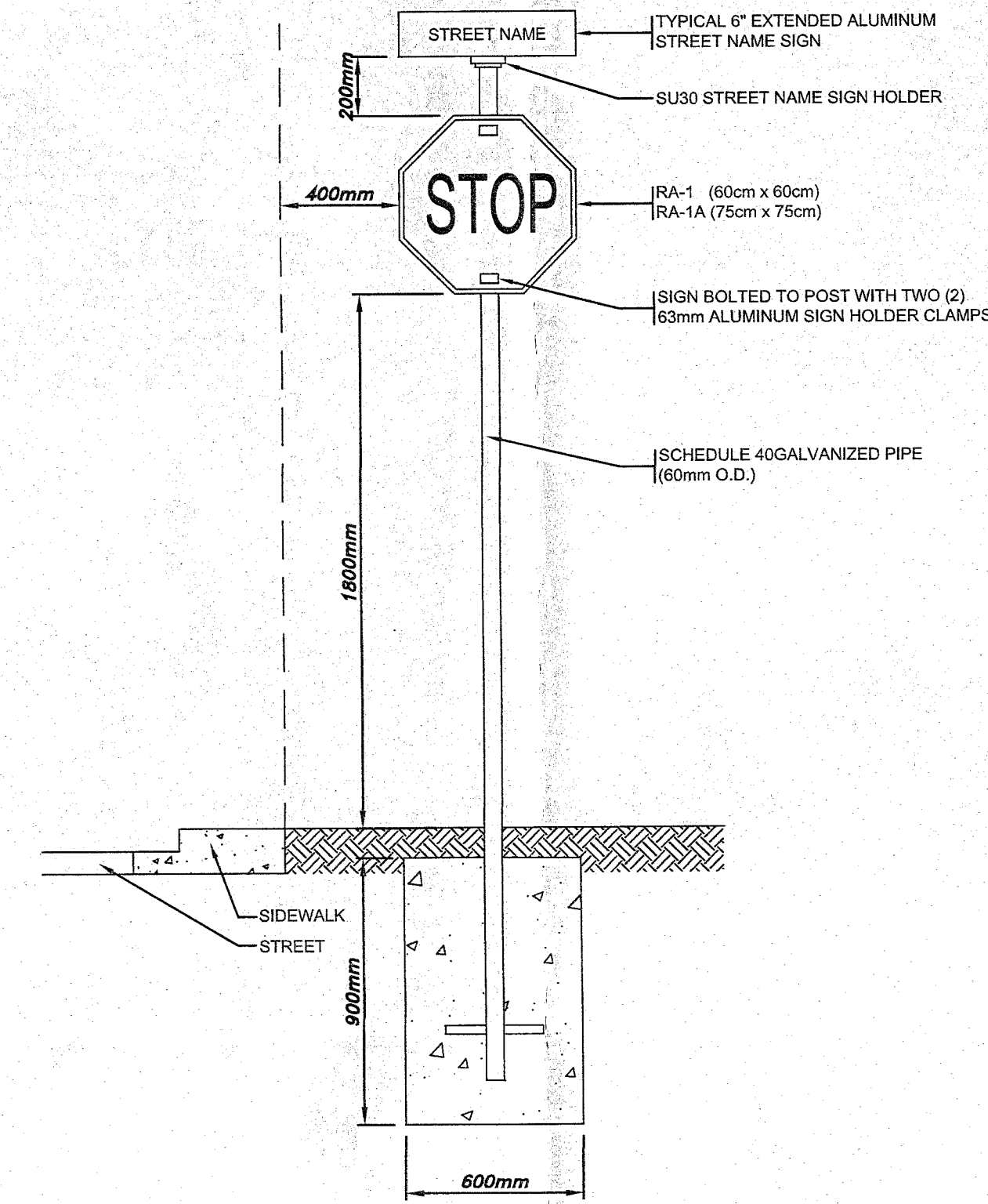
**DITCH INLET CATCHBASIN** 4  
SCALE: 1 : 50



**TEMPORARY CUT-OFF DRAINAGE DITCH** 5  
SCALE: 1 : 50



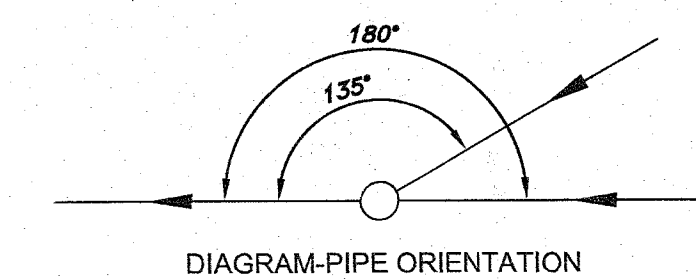
**STOP SIGN DETAIL (NO SIDEWALK)** 2  
SCALE: 1 : 20



**STOP SIGN DETAIL (SIDEWALK)** 3  
SCALE: 1 : 20

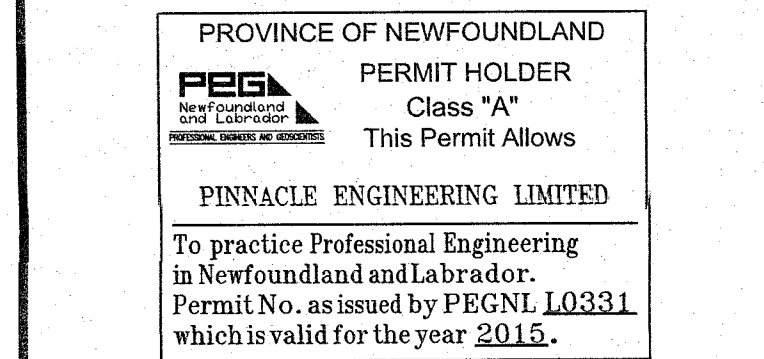
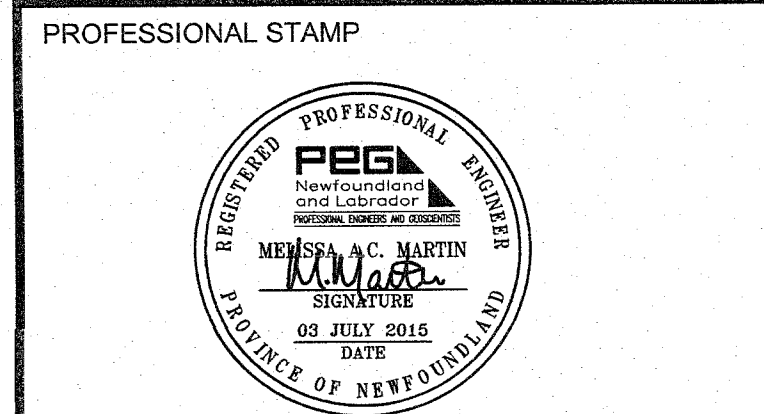
STREET	MANHOLE SCHEDULE				
	MANHOLE No.	TYPE	DIAMETER	ORIENTATION	INVERT ELEV.
MERCURY STREET	STORM MANHOLES				
	2002R	1200	300	0°	172.03
			300	215°	172.08
	2020R	1200	300	0°	170.87
			300	206°	170.92
	2028R	1200	375	0°	168.24
			300	90°	168.39
			300	180°	168.39
	2055R	1200	300	0°	168.74
			300	180°	168.79
	2055R	1200	300	0°	169.50
			300	180°	169.55
TYRELL DRIVE	2072R	1200	300	0°	170.51
			300	180°	170.56
	2082R	1200	300	0°	170.77
			300	90°	171.12
			300	180°	170.82
	2104R	1200	300	0°	169.43
SERVICE EASEMENT			300	185°	169.48
	2057R	1200	300	0°	173.13
			300	180°	173.18
	D.I C.B	1000 X1000	300	0°	177.76
	2071R	1200	375	0°	166.39
			375	232°	166.54

STREET	MANHOLE SCHEDULE				
	MANHOLE No.	TYPE	DIAMETER	ORIENTATION	INVERT ELEV.
MERCURY STREET	SANITARY MANHOLES				
	2002S	1200	200	0°	172.67
			200	215°	172.72
	2021S	1200	200	0°	171.85
			200	207°	171.90
	2029S	1200	200	0°	169.86
			200	90°	169.01
			200	180°	169.01
	2051S	1200	200	0°	169.91
			200	180°	169.96
	2073S	1200	200	0°	170.86
			200	180°	170.91
TYRELL DRIVE	2083S	1200	200	0°	171.04
			200	90°	171.29
			200	180°	171.09
SERVICE EASEMENT	2100S	1200	200	0°	169.51
			200	185°	169.56
	2072S	1200	200	0°	166.70
			200	232°	166.85



- NOTES
1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH DEPARTMENT OF MUNICIPAL AFFAIRS WATER, SEWER AND ROAD SPECIFICATIONS.
  2. MANHOLE SIZES TO BE CONFIRMED BY SUPPLIER. SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL.
  3. ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.

NO.	REVISIONS	DATE
3	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
2	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15
1	REVISIONS AS PER MUNICIPALITY COMMENTS	24/02/15
0	ISSUED FOR REVIEW	29/07/14



CLIENT  
**LaurMax Developments Inc.**

PROJECT TITLE  
**GRAND MEADOWS STAGE 5**

SHEET TITLE  
**CONSTRUCTION DETAILS - 01**

PROJECT NO.  
**13022**

DRAWN BY  
**SDB**

CHECKED BY  
**KHH**

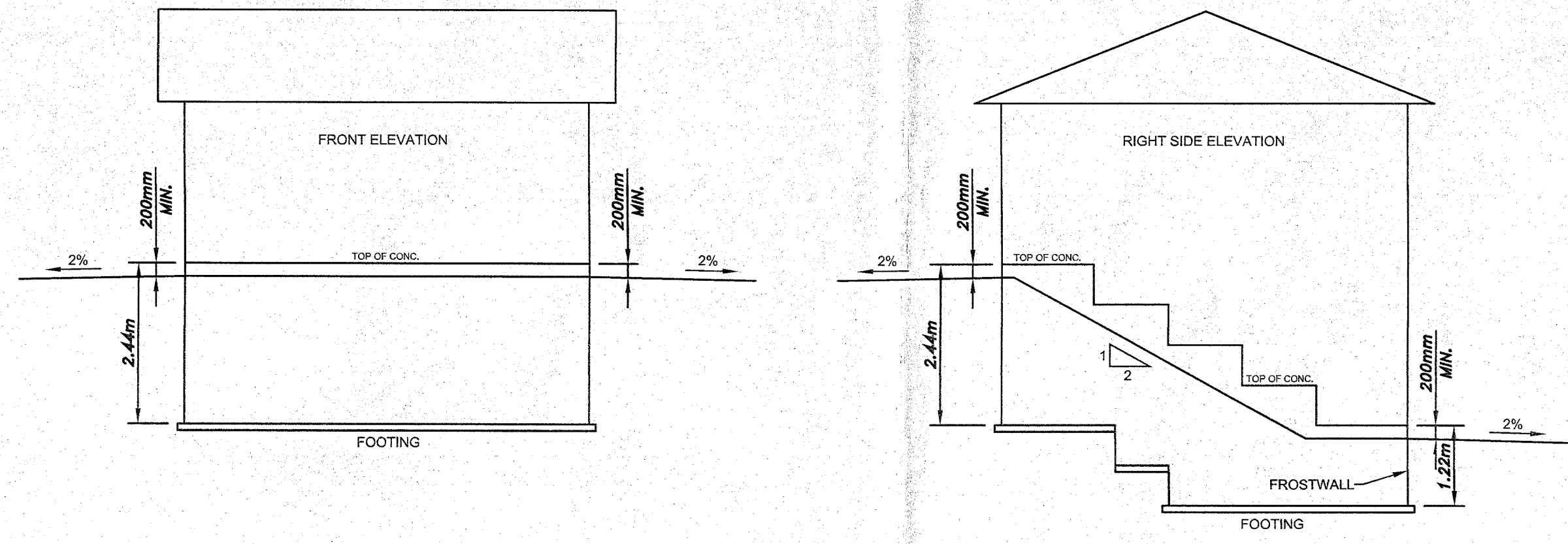
DATE  
**MARCH 2014**

SCALE  
**AS SHOWN**

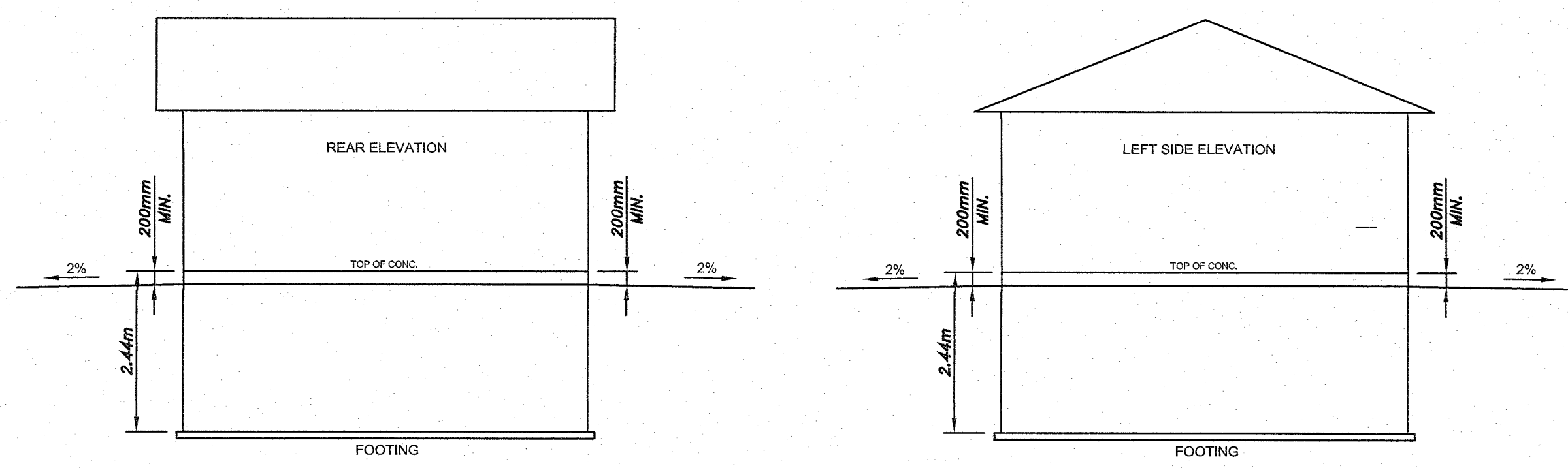
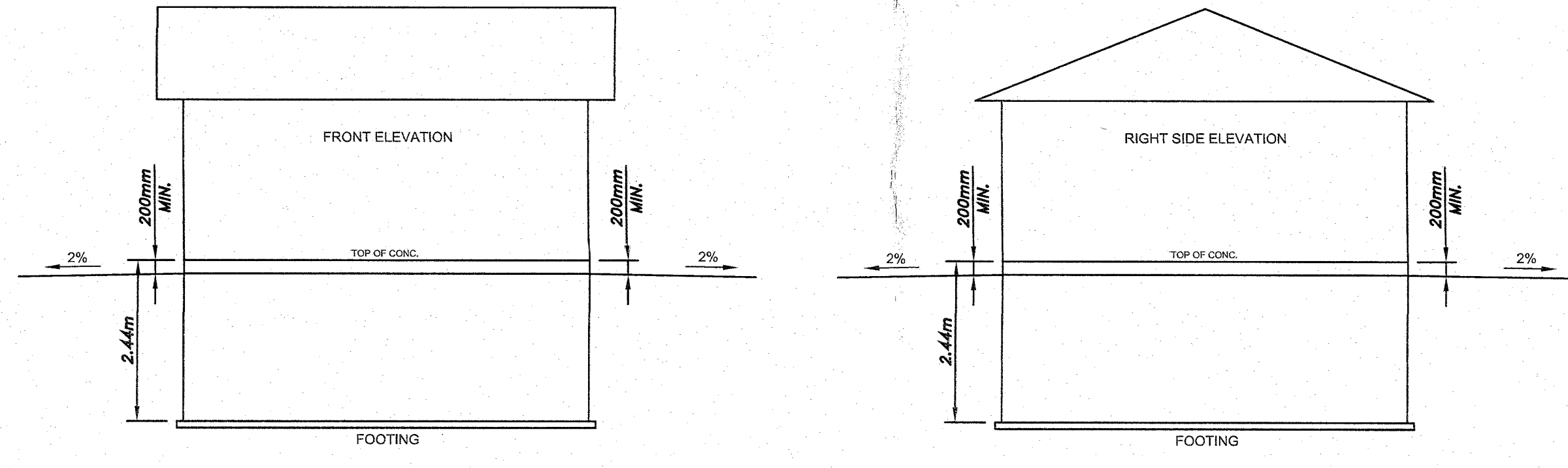
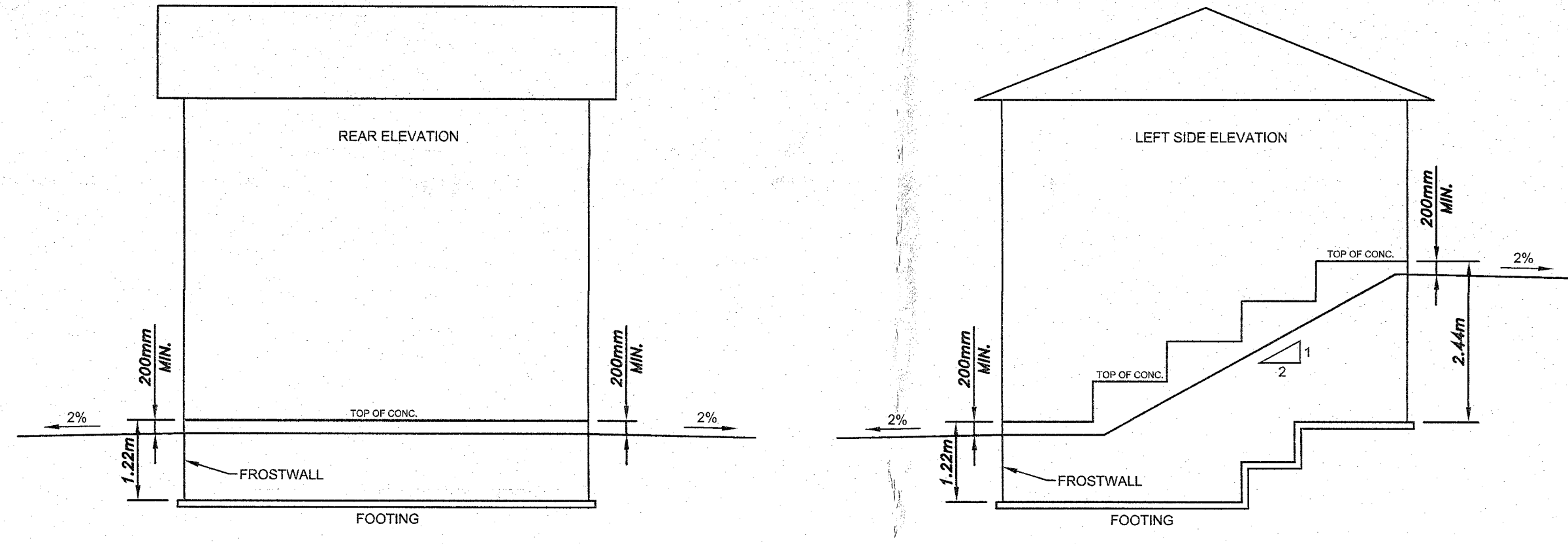
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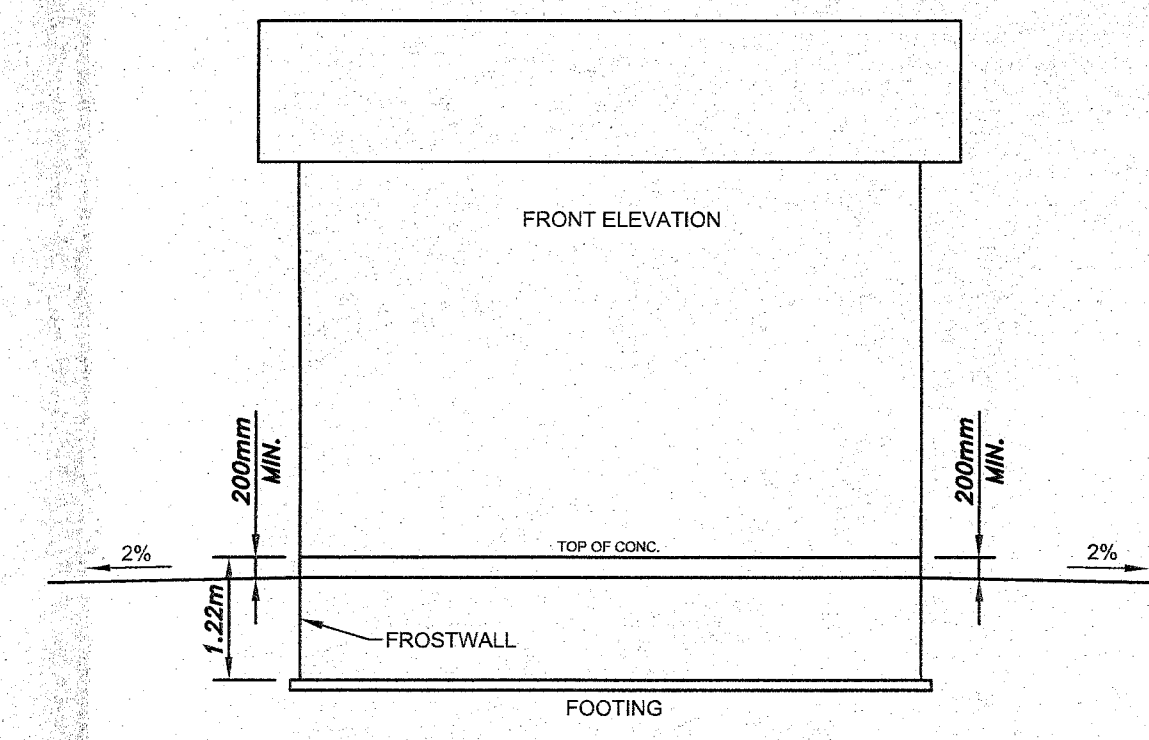
- NOTES
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  2. MANHOLE SIZES TO BE CONFIRMED BY SUPPLIER. SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL.
  3. ALL WORK MUST COMPLY WITH THE TOWN OF PARADISE ENGINEERING GUIDELINES.



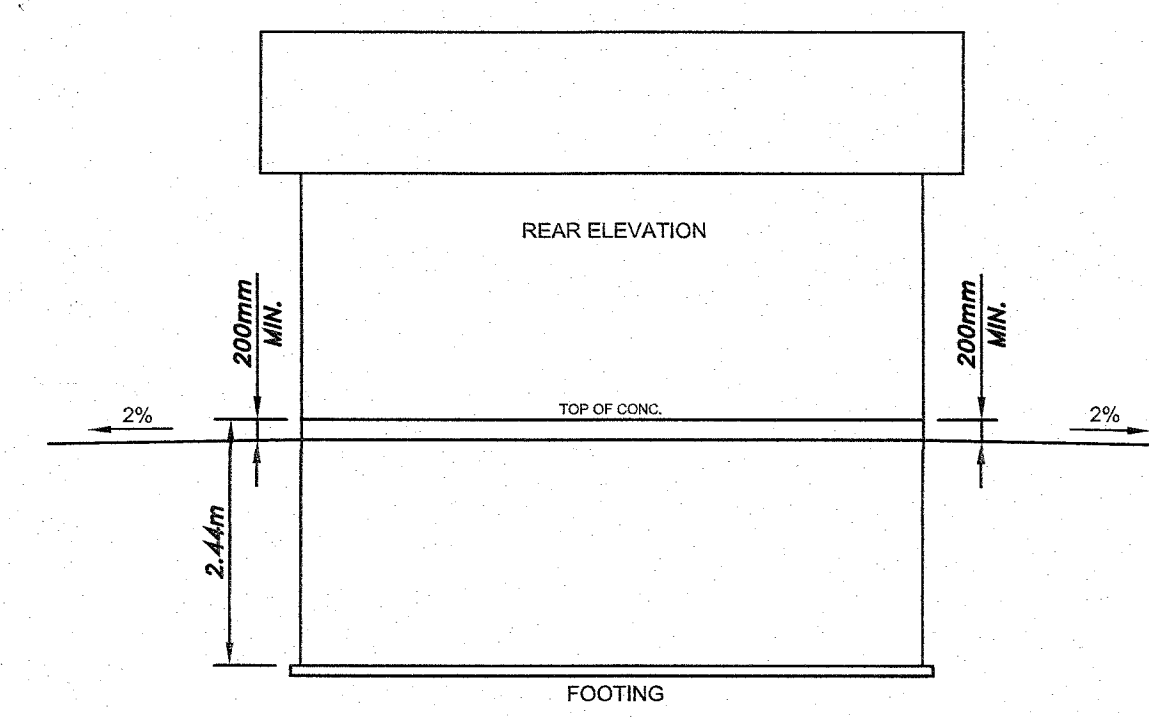
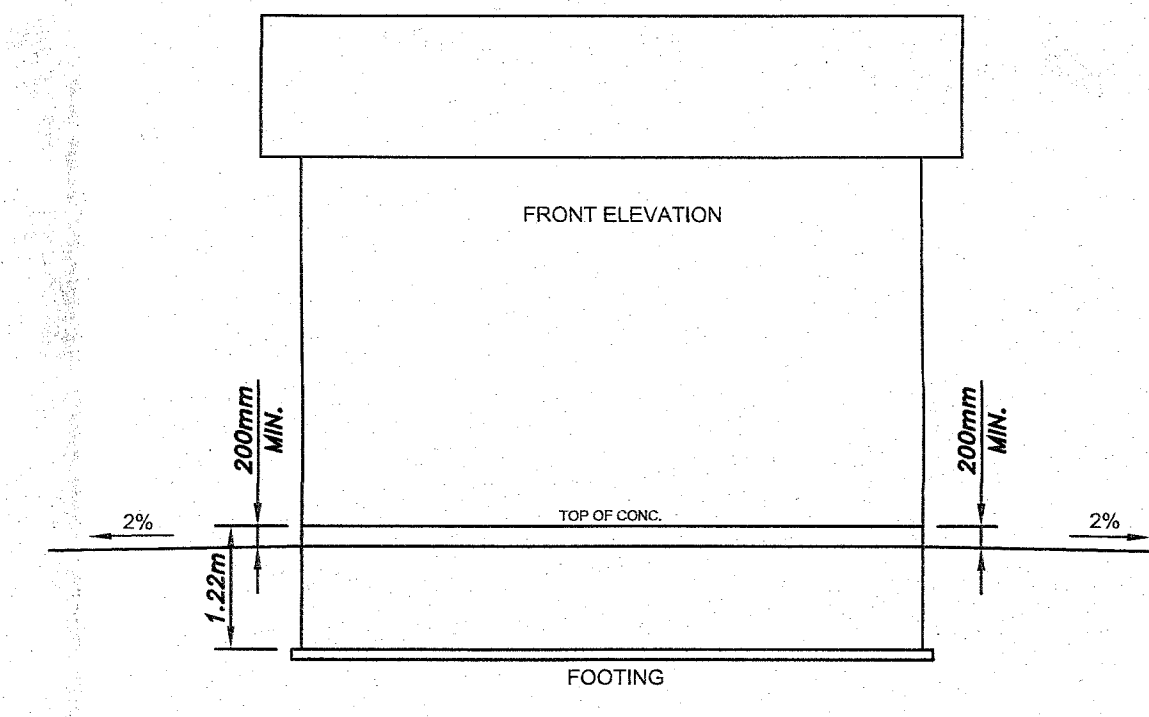
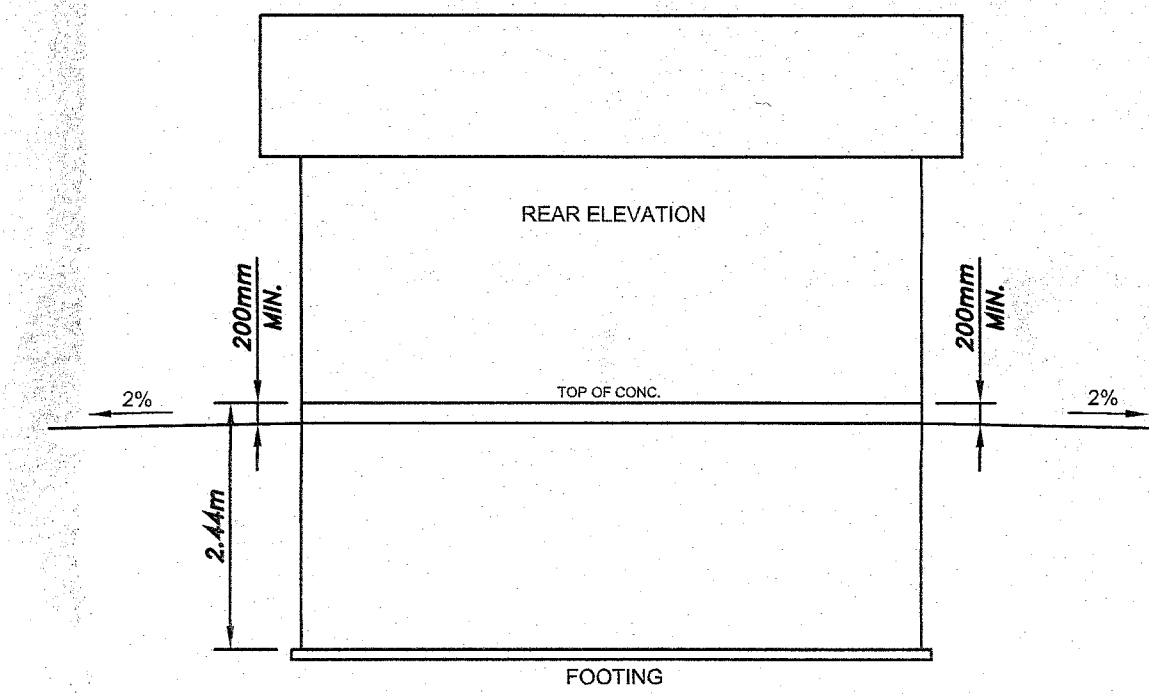
**WALKOUT AT REAR 1**  
SCALE: 1 : 75  
D2



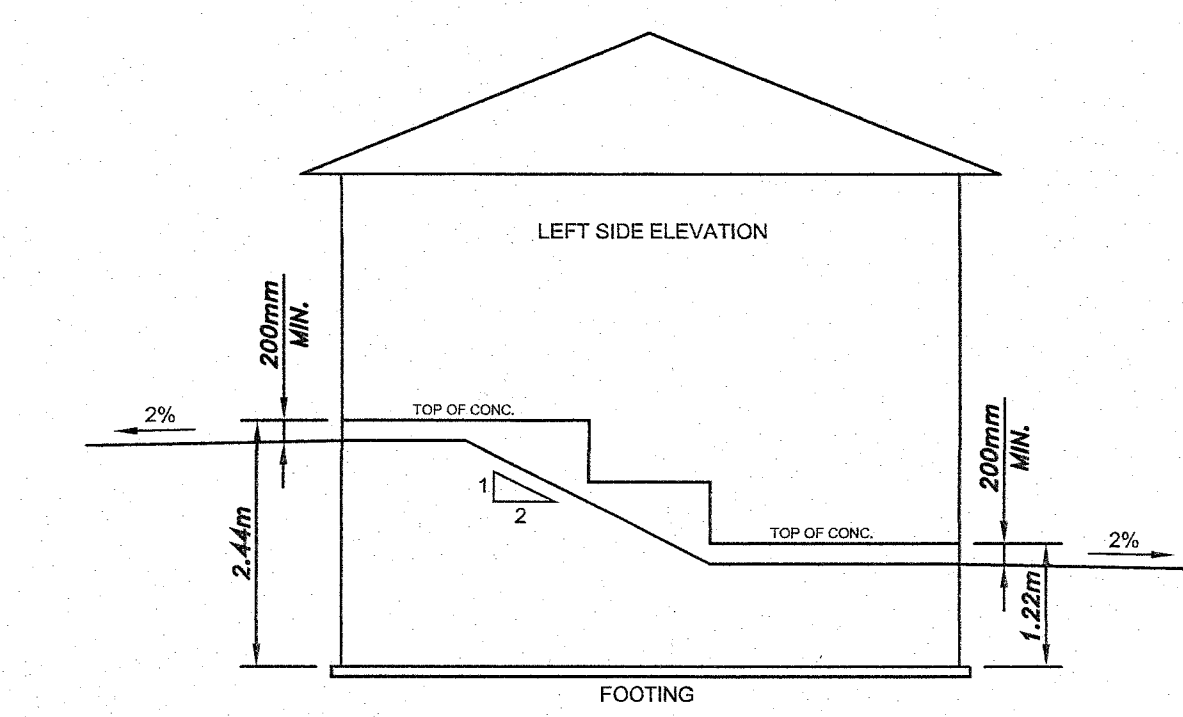
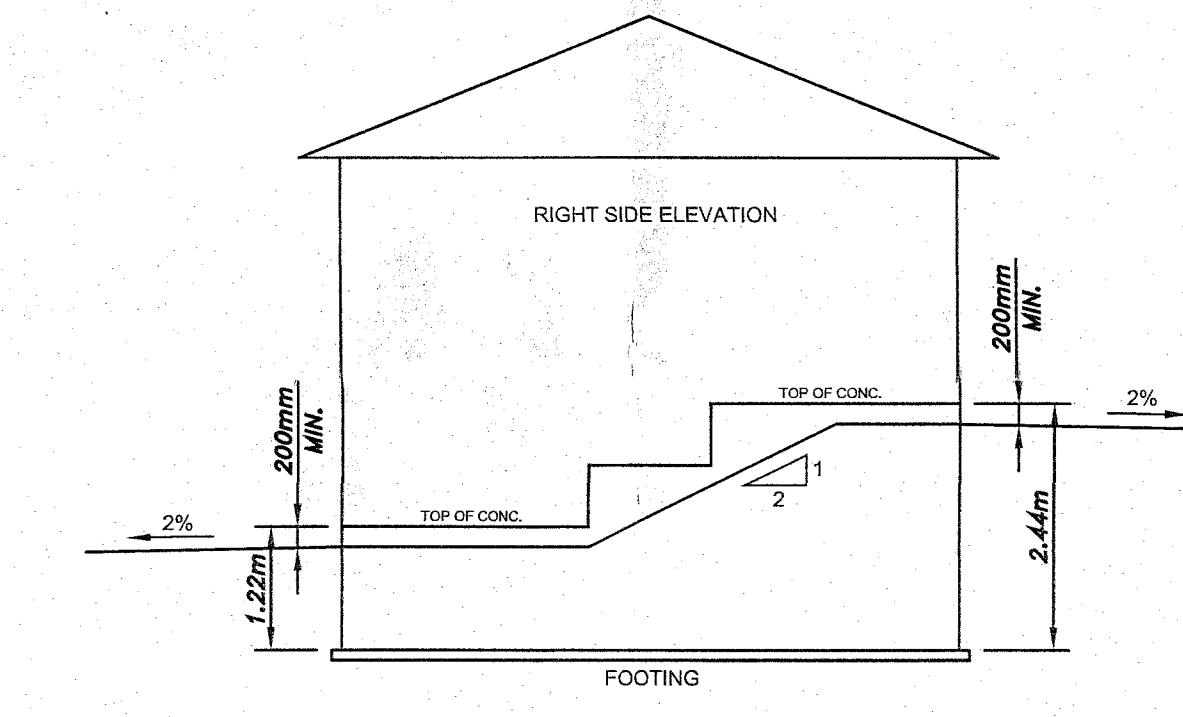
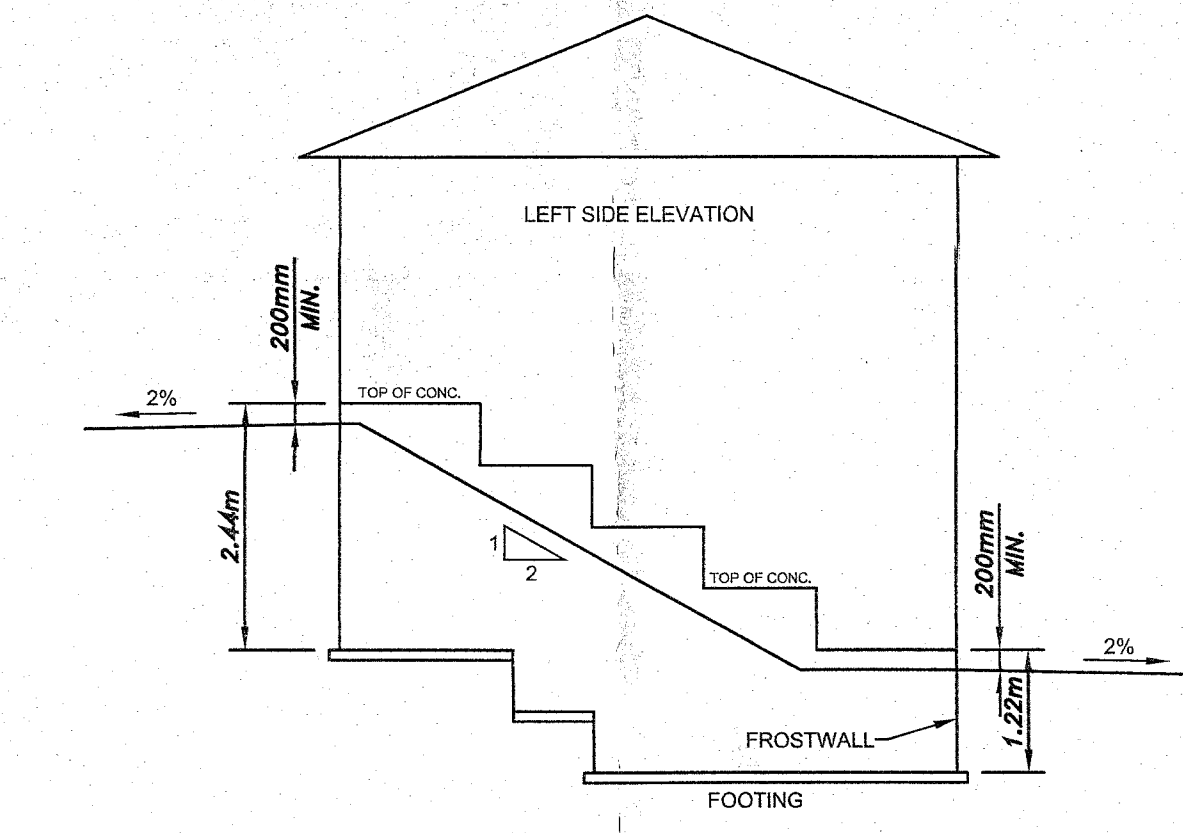
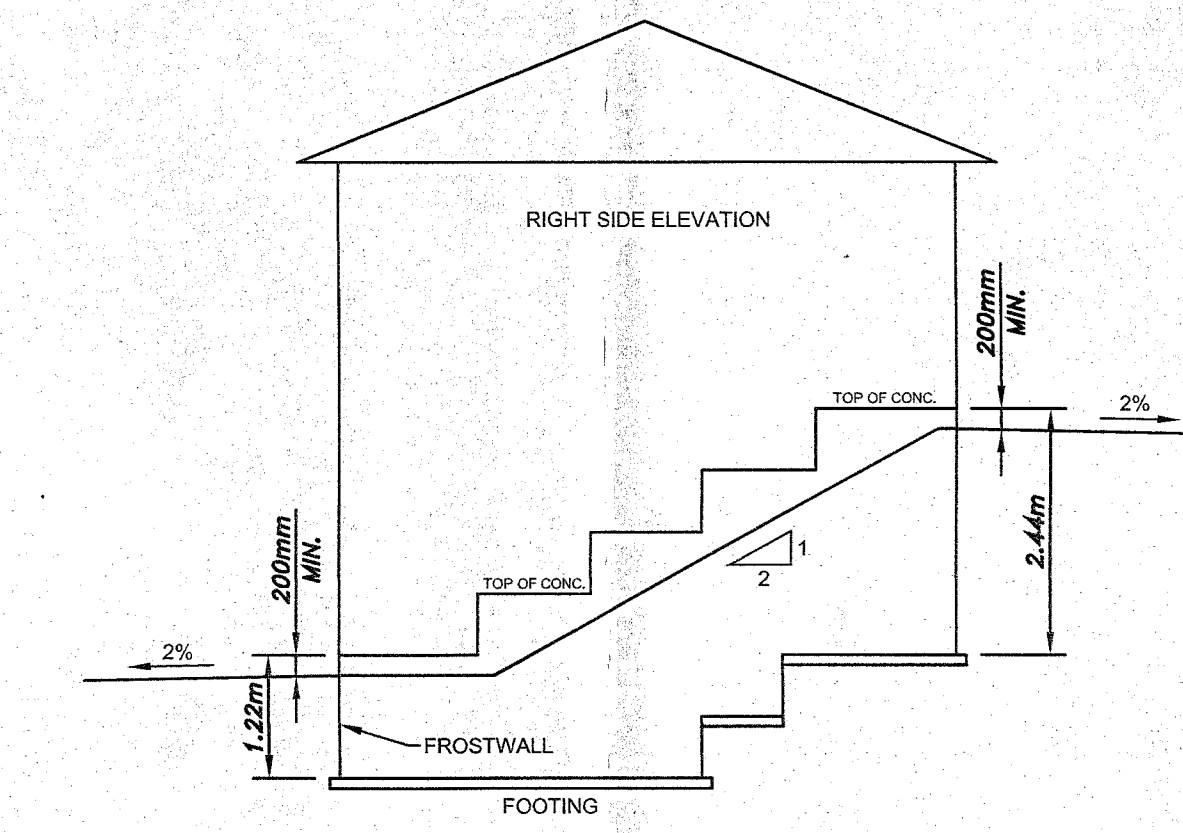
**STANDARD 3**  
SCALE: 1 : 75  
D2



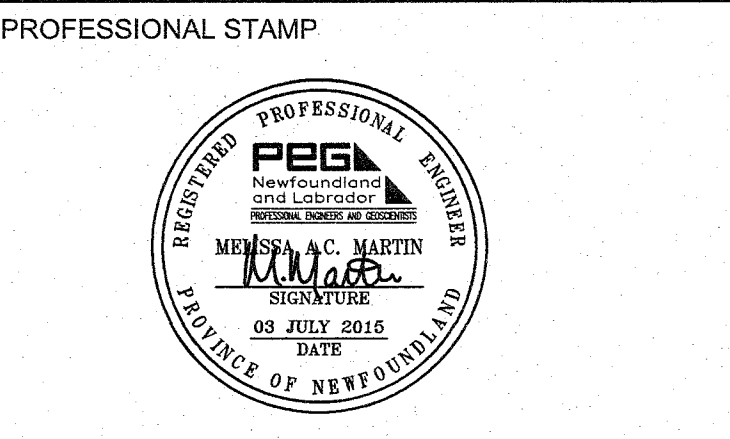
**WALKOUT AT FRONT 2**  
SCALE: 1 : 75  
D2



**SPLIT ENTRY AT REAR 4**  
SCALE: 1 : 75  
D2



NO.	REVISIONS	DATE
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0	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15



PROVINCE OF NEWFOUNDLAND  
PERMIT HOLDER  
Class "A"  
This Permit Allows  
PINNACLE ENGINEERING LIMITED  
To practice Professional Engineering in Newfoundland and Labrador.  
Permit No. as issued by PEGNL 10331 which is valid for the year 2015.

CLIENT  
LaurMax Developments Inc.

PROJECT TITLE  
GRAND MEADOWS  
STAGE 5

SHEET TITLE  
CONSTRUCTION DETAILS - 02

PROJECT NO.  
13022

DRAWN BY  
SDB

CHECKED BY  
KHH

DATE  
MARCH 2014

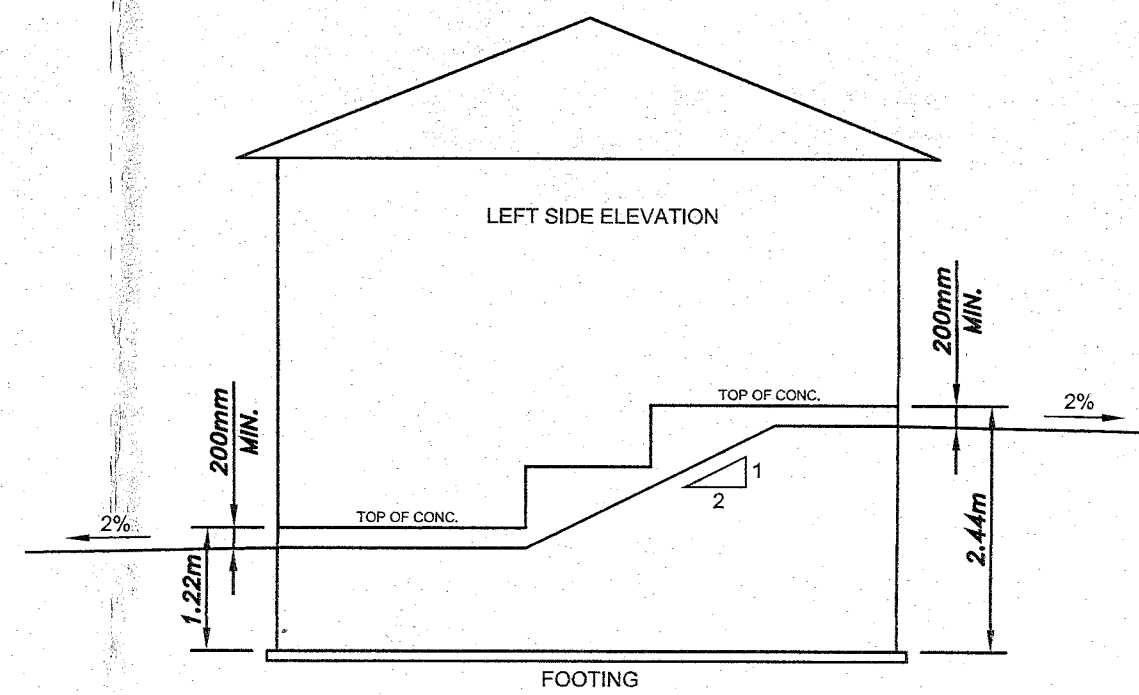
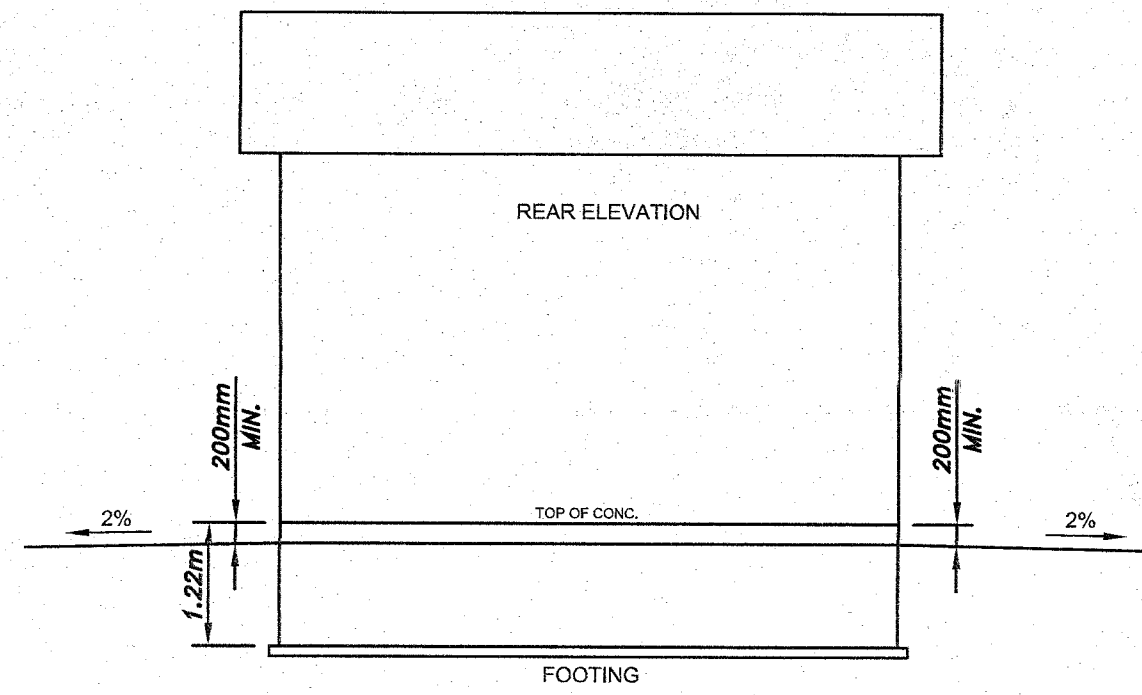
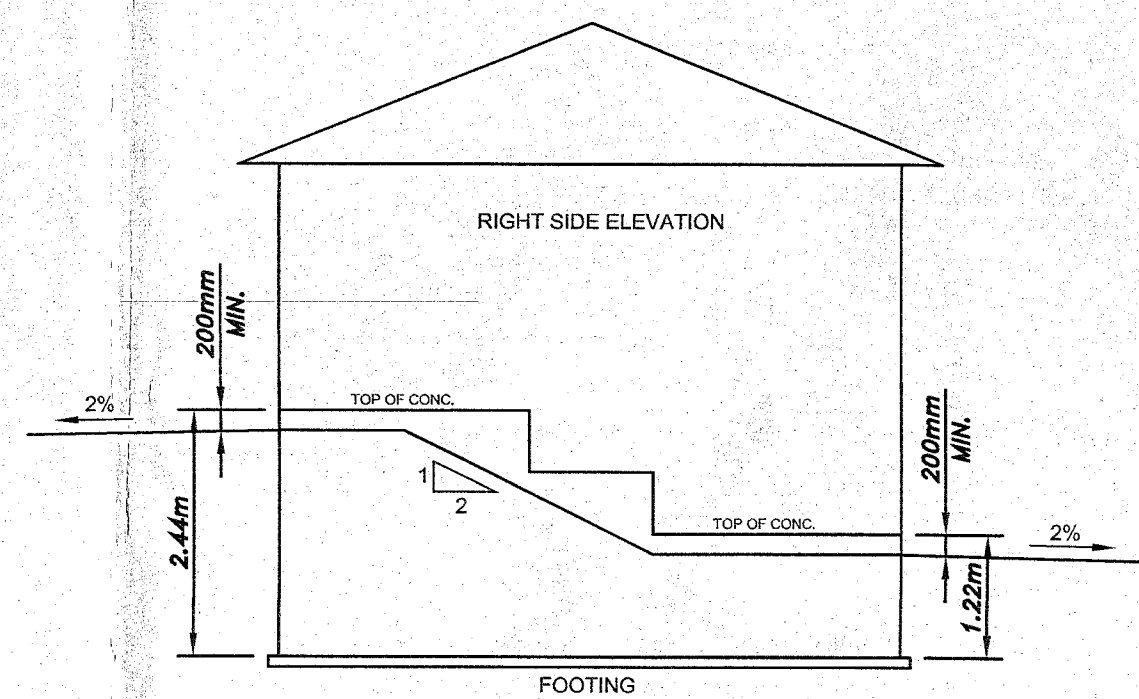
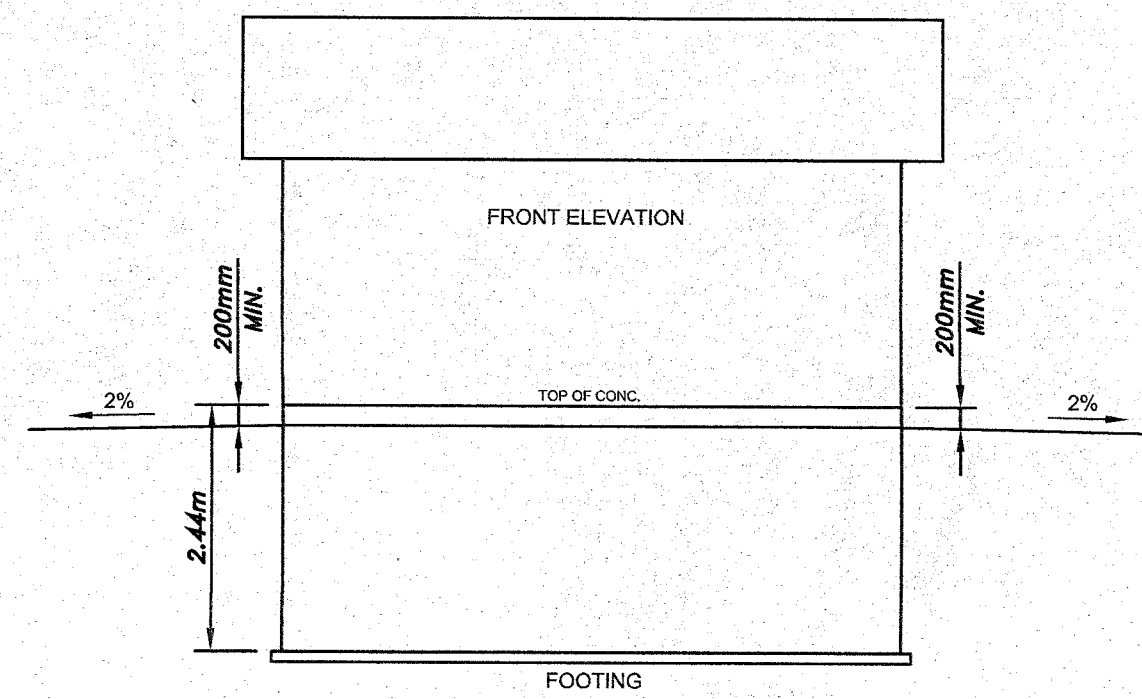
DRAWING NO.

SCALE  
AS SHOWN

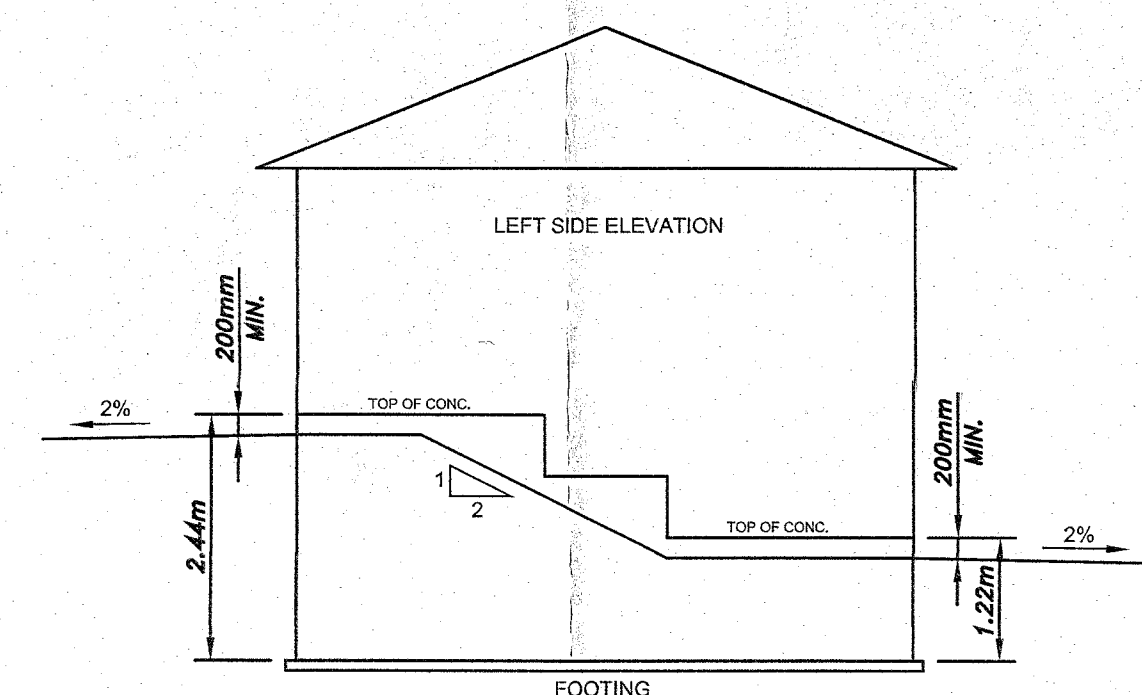
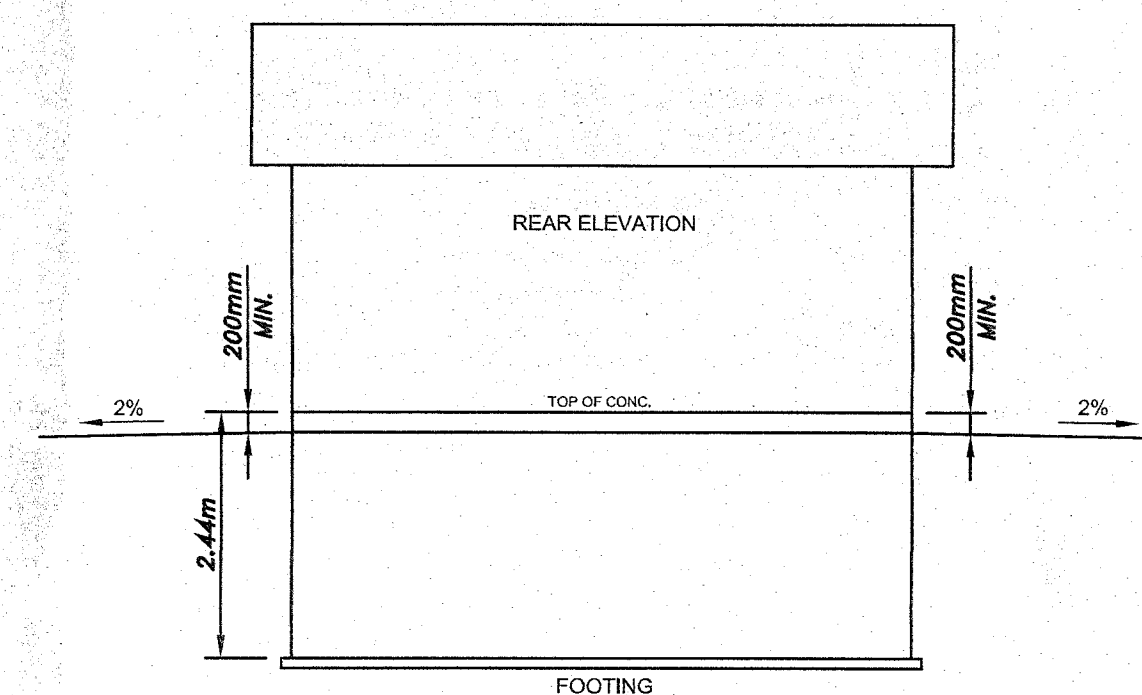
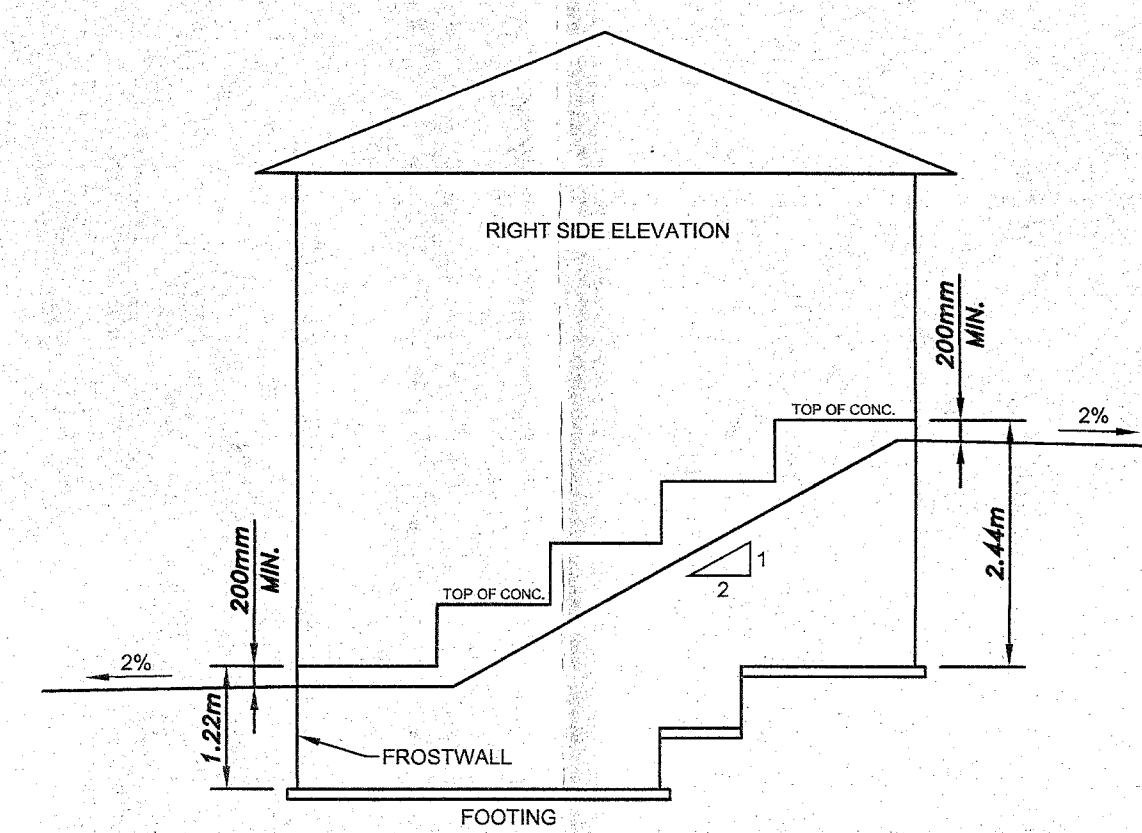
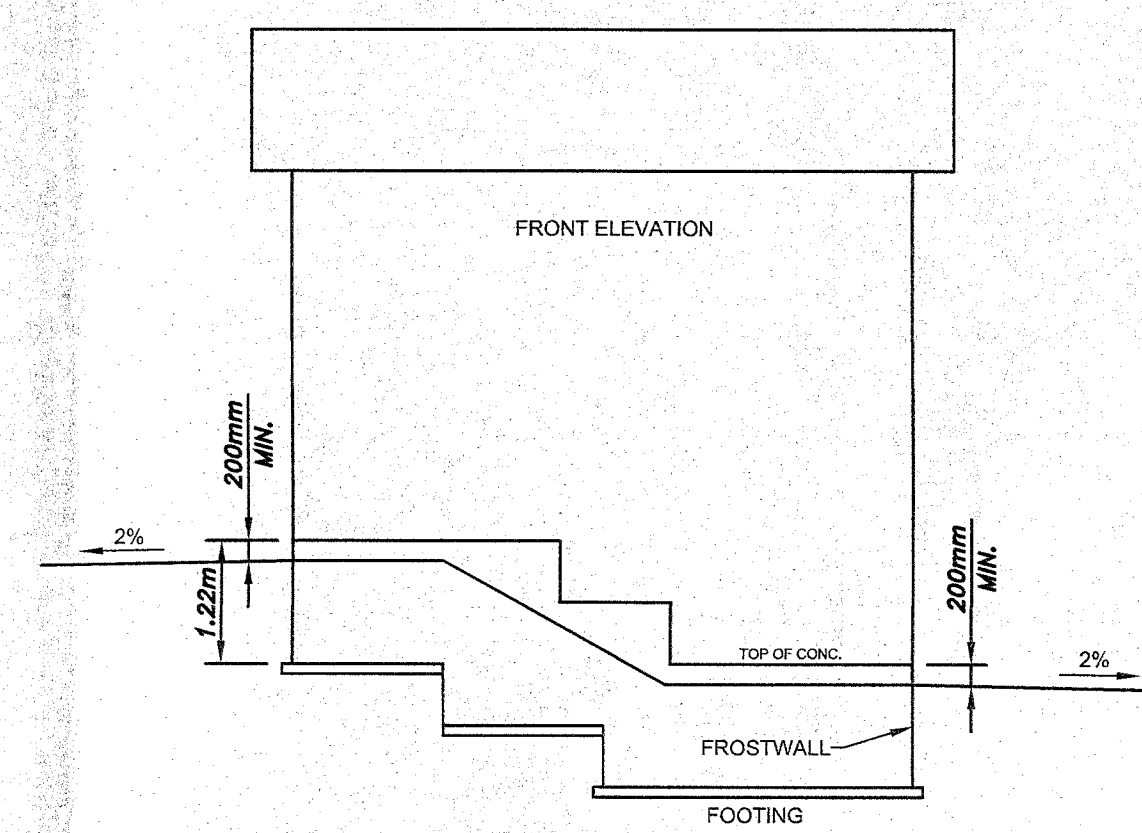
**D2**



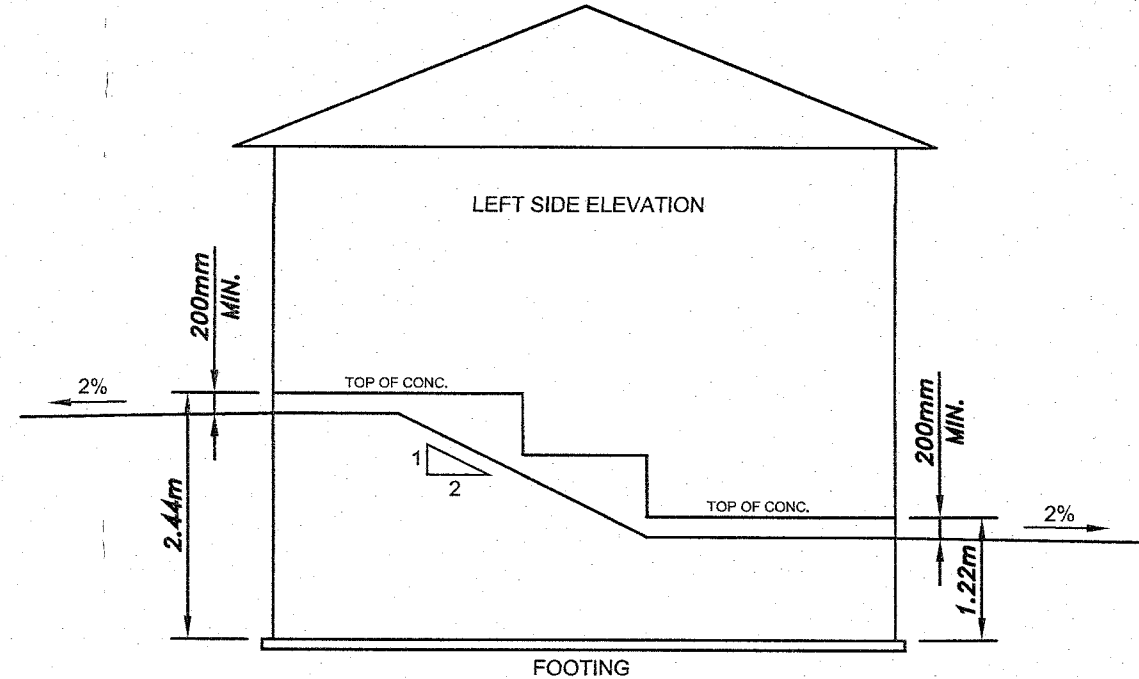
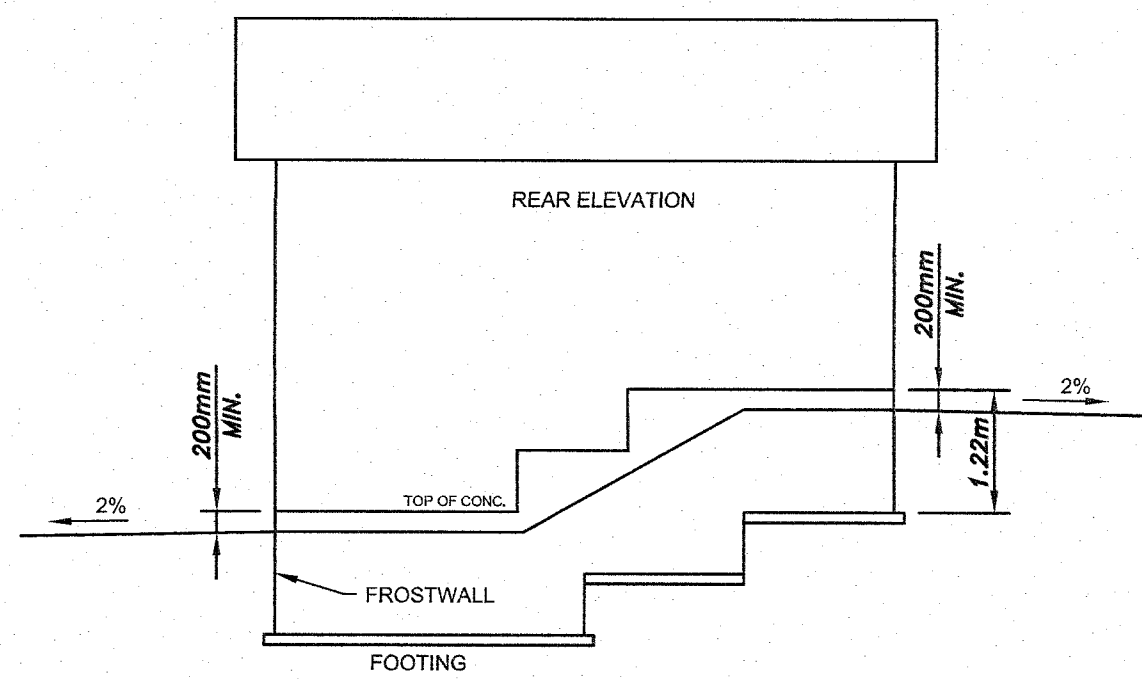
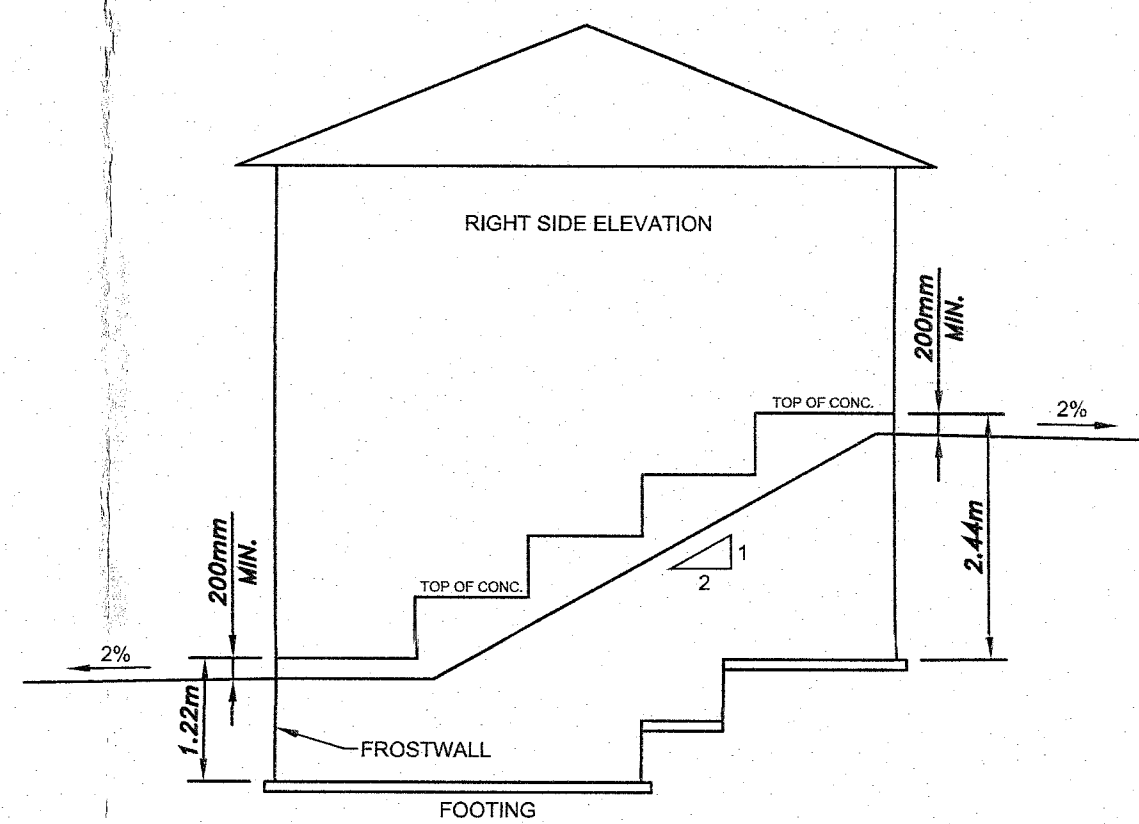
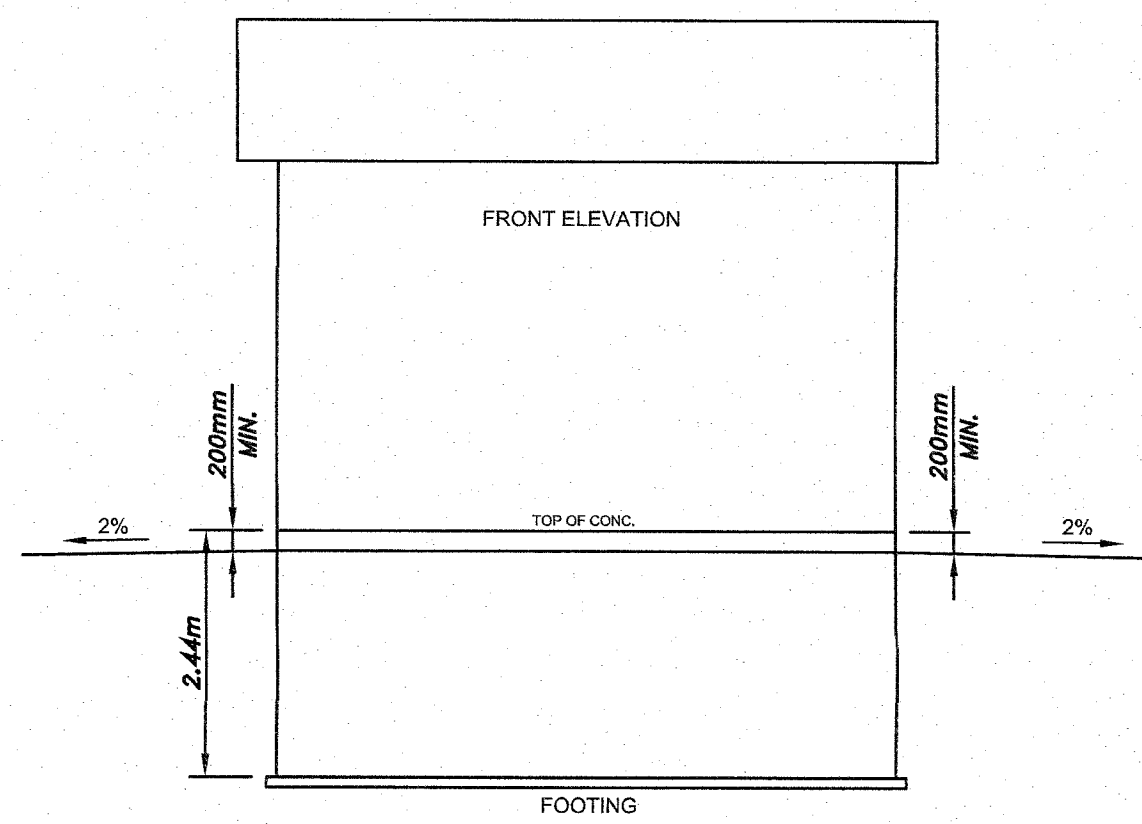
- NOTES
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**SPLIT ENTRY AT FRONT** 1  
SCALE: 1:75 D3



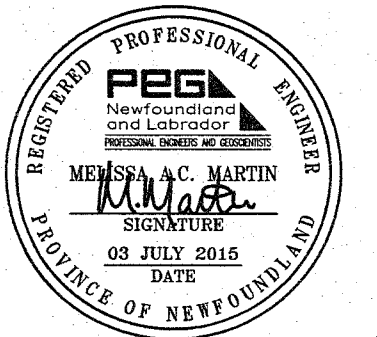
**SIDE SPLIT AT REAR** 2  
SCALE: 1:75 D3



**SIDE SPLIT AT FRONT** 3  
SCALE: 1:75 D3

NO.	REVISIONS	DATE
1	REVISED OPEN SPACE LAYOUT AS PER MUNICIPALITY	03/07/15
0	REVISIONS AS PER MUNICIPALITY COMMENTS	26/06/15

PROFESSIONAL STAMP



PROVINCE OF NEWFOUNDLAND  
PERMIT HOLDER  
Class "A"  
This Permit Allows  
PINNACLE ENGINEERING LIMITED  
To practice Professional Engineering  
in Newfoundland and Labrador.  
Permit No. as issued by PEGNL L0331  
which is valid for the year 2015.

CLIENT  
LaurMax Developments Inc.

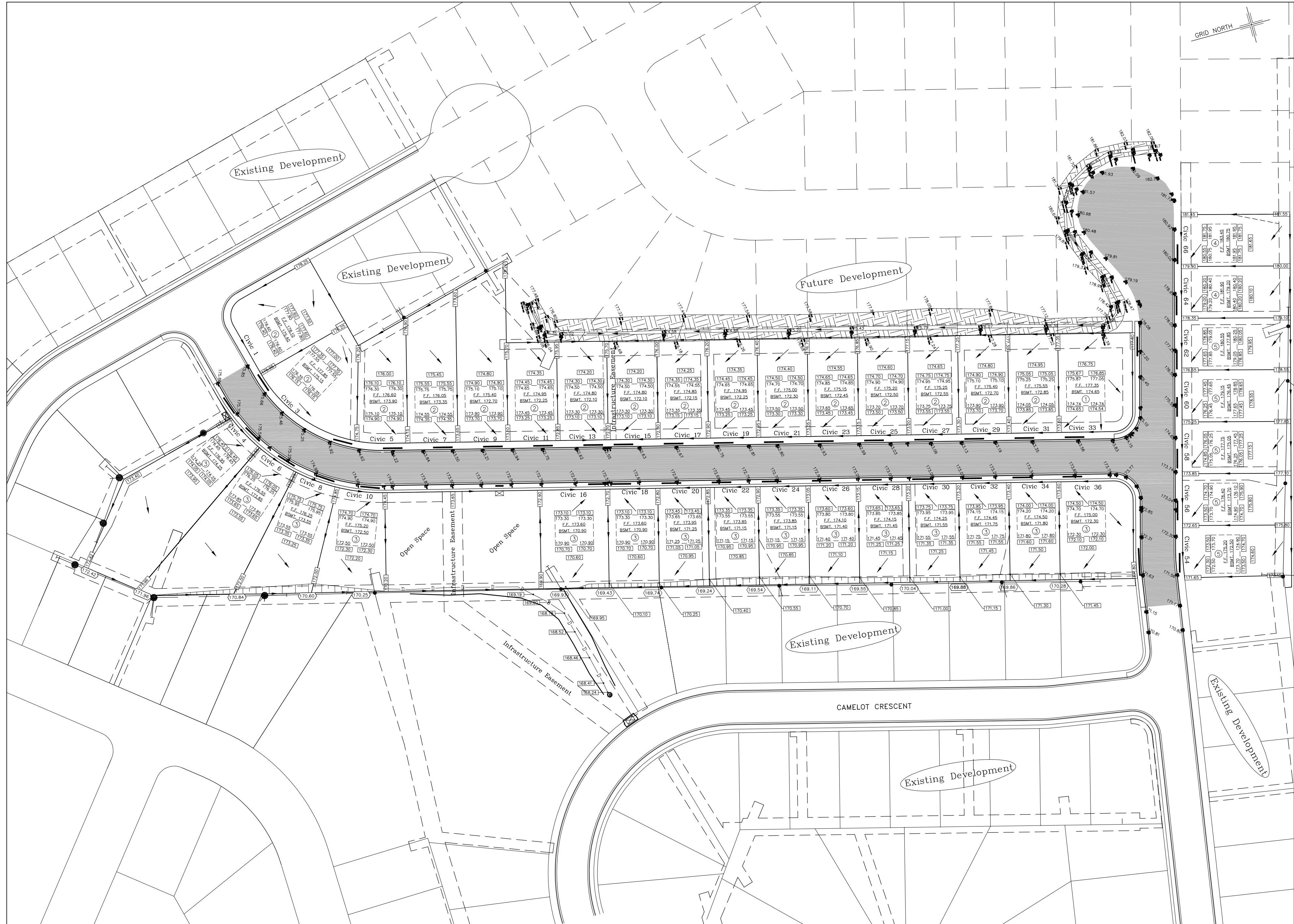
PROJECT TITLE  
GRAND MEADOWS  
STAGE 5

SHEET TITLE  
CONSTRUCTION DETAILS - 03

PROJECT NO.  
13022

DRAWN BY SDB	CHECKED BY KHH
DATE MARCH 2014	DRAWING NO. D3
SCALE AS SHOWN	





**Reviewed with no comments, Approved**

INFRASTRUCTURE AND ENGINEERING

Reviewed/Approved as to the general conformity of the design concept. Sole responsibility for the correct design, details and dimensions shall remain with the party submitting the drawing. Review is for conformity of the design concept and general arrangement. The Developer/Engineer of Record is not relieved of responsibility for errors or omissions and shall meet all requirements of the design.



July 4, 2022

Jonathan Brazil

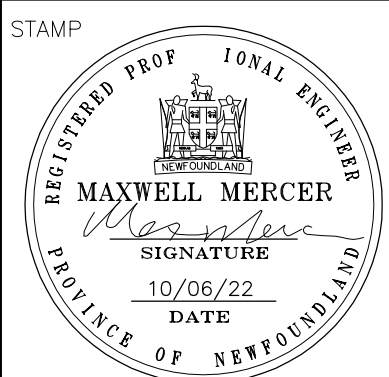
NOTES

- A. CONTRACTORS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. ALL DISCREPANCIES AND UNSATISFACTORY CONDITIONS TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- B. DO NOT SCALE FROM DRAWING.

AS BUILT TOPO  
PROPOSED FINISHED GRADES  
EXISTING TOPOGRAPHY

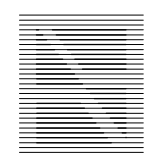
5.	CIVIC 33, MERCURY DRIVE, GRADING REVISED	10/06/22	J.L.
4	SWALE REMOVED FROM REAR LOTS - MERCURY STREET	16/09/19	J.L.
3.	CIVIC 4, MERCURY DRIVE REAR ELY. ADDED. DWG SCALE REDUCED TO 1:750	11/04/19	J.L.
2.	SWALE ADDED TO REAR LOTS - MERCURY STREET - SWALE DETAIL ADDED	20/04/18	J.L.
1	AS BUILT INFORMATION ADDED	22/03/18	J.L.
No.	DESCRIPTION	DATE	BY:

REVISIONS



PERMIT  
PROVINCE OF NEWFOUNDLAND  
PERMIT HOLDER  
CLASS "A"  
This Permit Allows  
NEWLAB ENGINEERING LIMITED  
To practice Professional Engineering in Newfoundland and Labrador.  
Permit No. as issued by APEGN 00011 which is valid for the year 2022.

PRIME CONSULTANT



**NEWLAB  
ENGINEERING  
LIMITED**

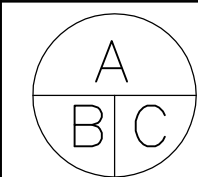
CONSULTING ENGINEERS - PROJECT MANAGERS

SOUTH RIVER OFFICE P.O. BOX 400, ST. JOHN'S OFFICE  
TEL. 709-786-4446 CLARKE'S BEACH, TEL. 709-738-2065  
FAX. 709-786-4140 NL, AOA 1WO FAX. 709-738-2066  
E-MAIL: info@newlabengineering.ca

SUB - CONSULTANT

DRAWN BY J. LYNCH DATE NOV 01/2017  
CHECKED BY DATE  
APPROVED BY DATE

SCALE 1:500



A DETAIL NO.  
B DRAWING NO. WHERE DETAIL REQUIRED  
C DRAWING NO. WHERE DETAILED

PROJECT

39 LOT RESIDENTIAL SUB-DIVISION  
GRAND MEADOWS - STAGE 5  
LAURMAX DEVELOPMENT INC.

PARADISE NEWFOUNDLAND

DRAWING TITLE

SITE GRADING PLAN /  
BUILDING ENVELOPE

(AS BUILT)

PROJECT No.

2017-041

DRAWING No.

C-8

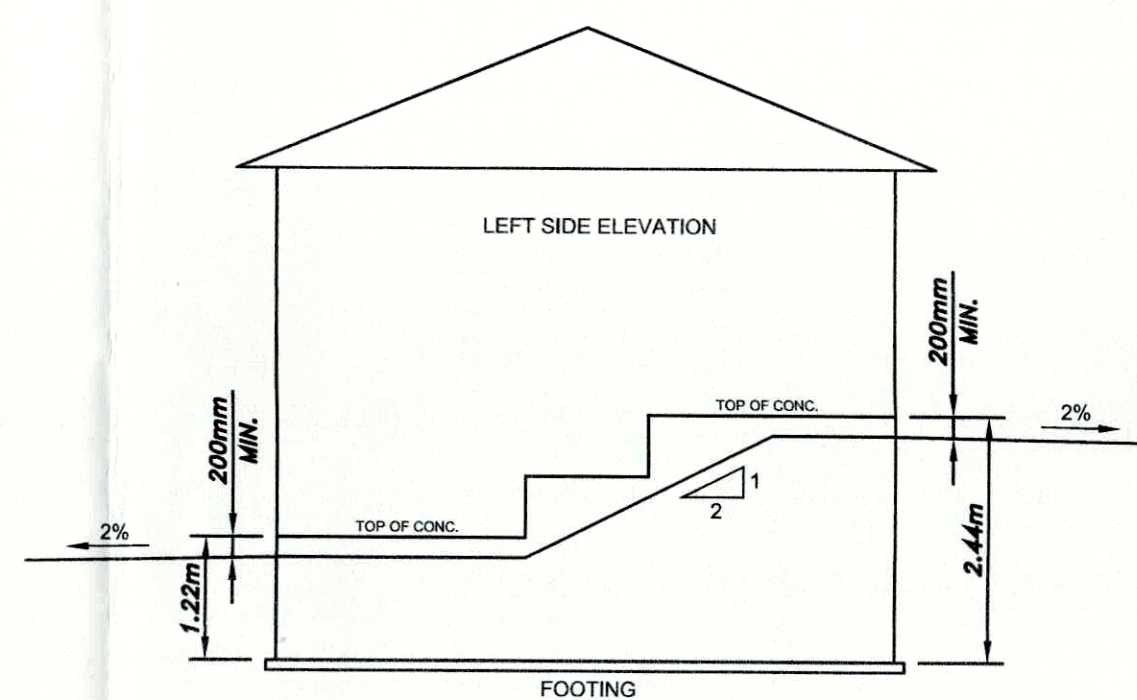
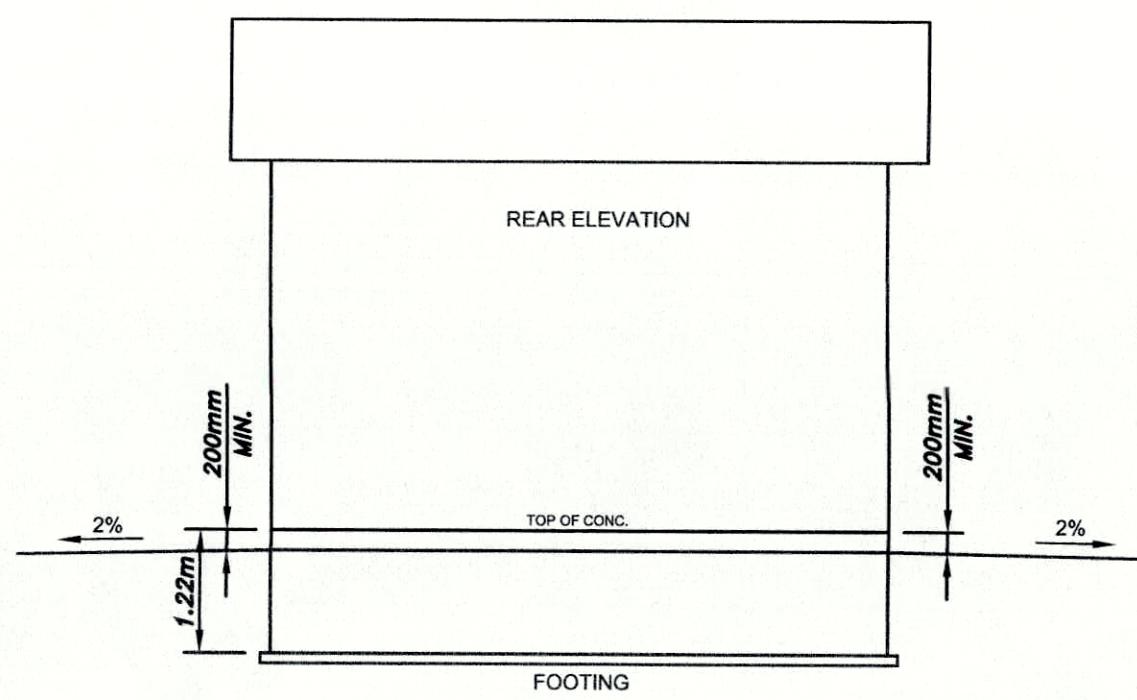
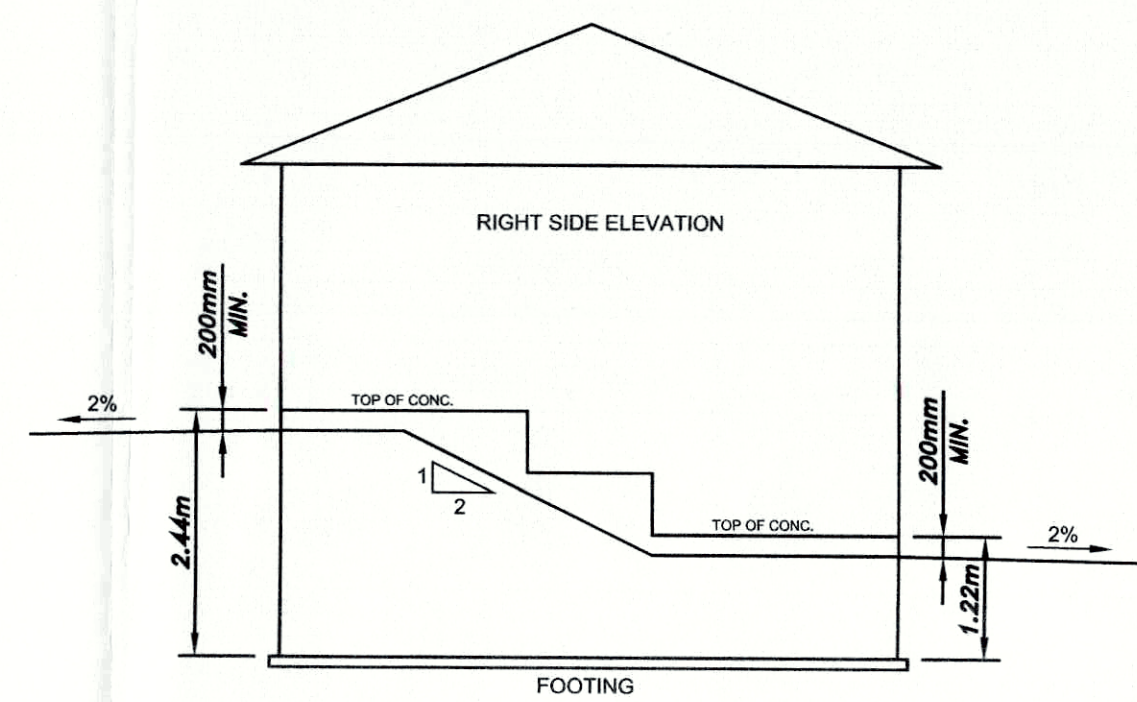
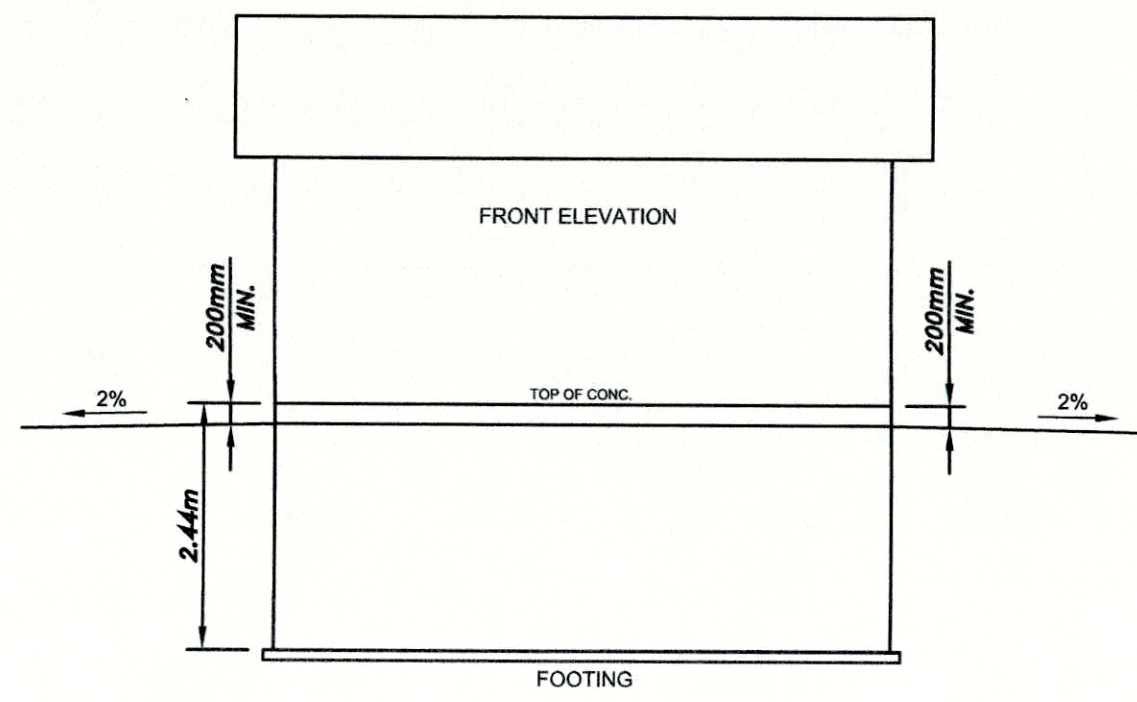
STAGE 5 - GRAND MEADOWS (AS BUILT)

MARCH 2018

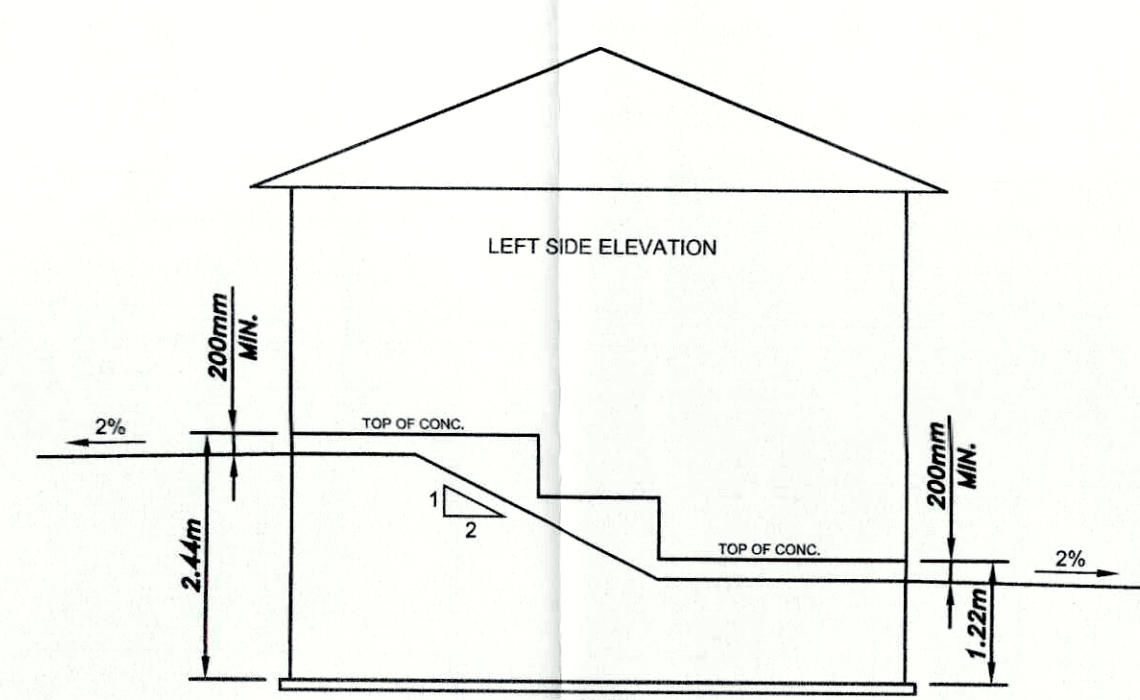
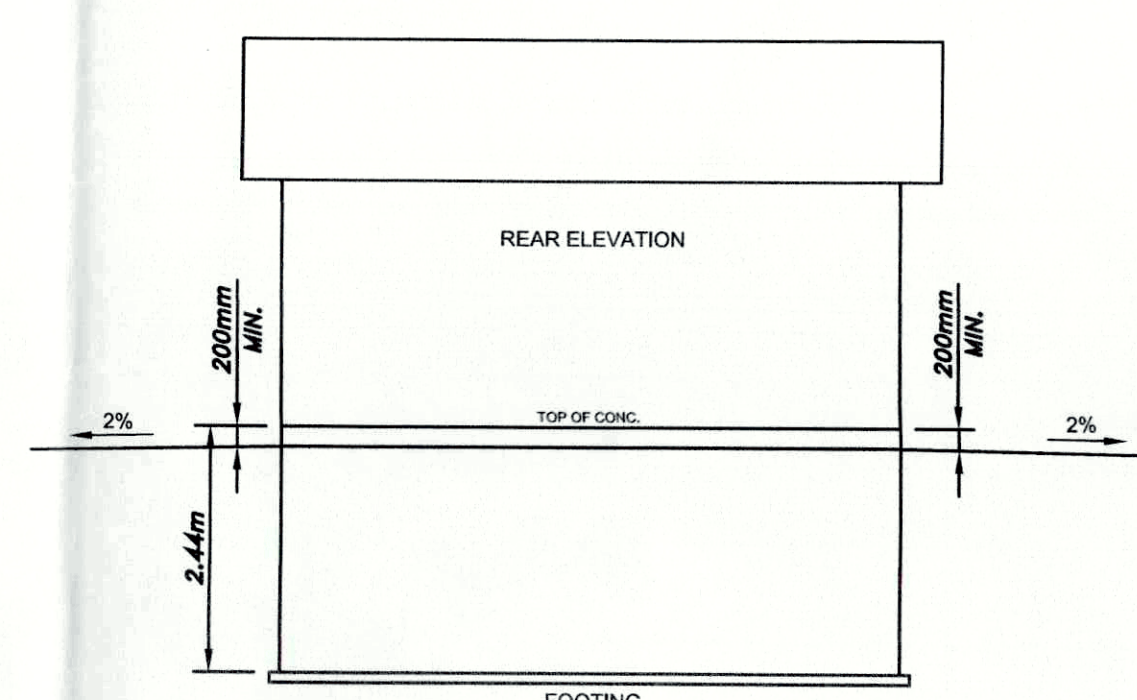
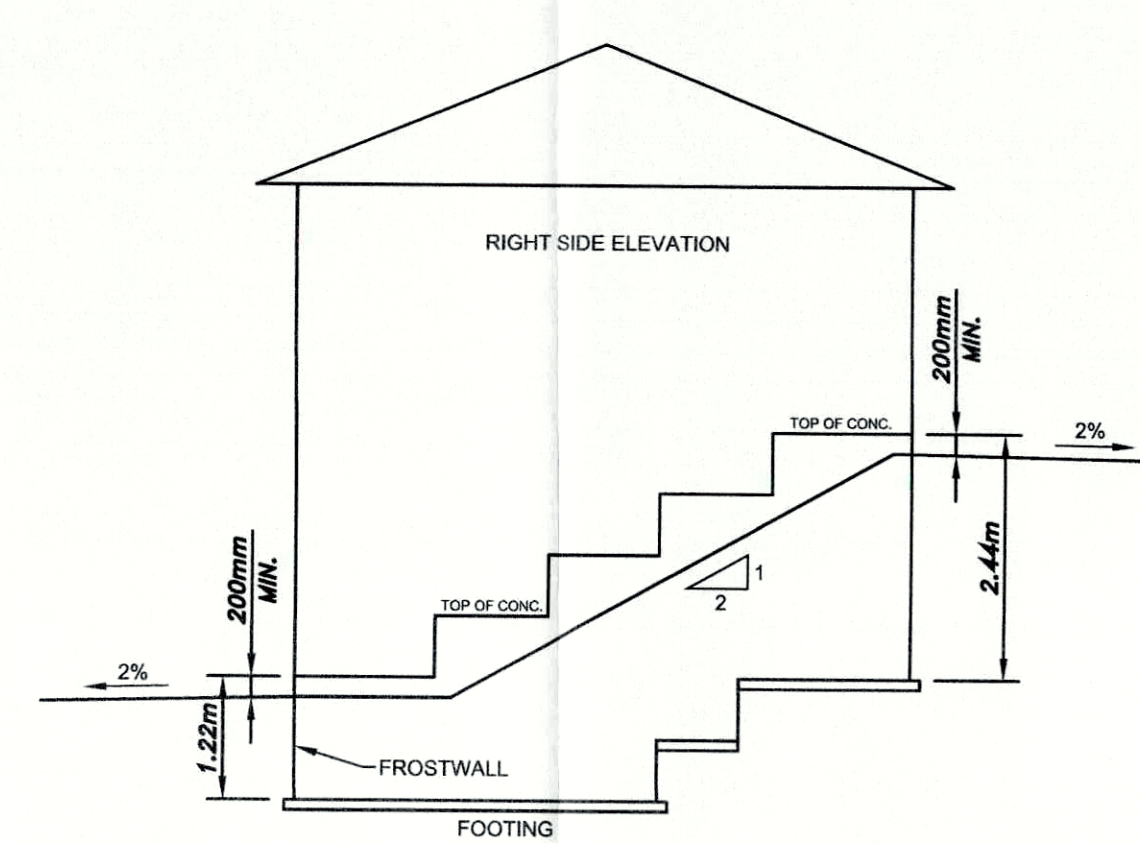
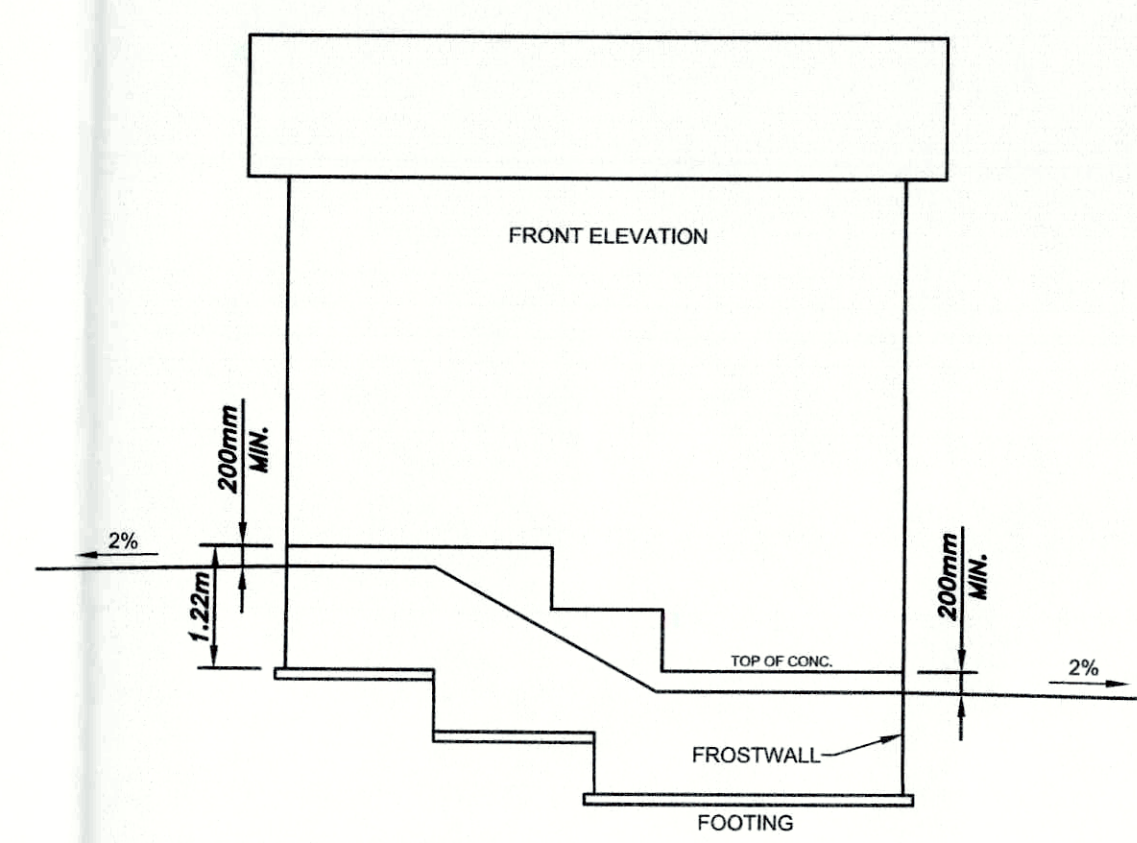
2017-41



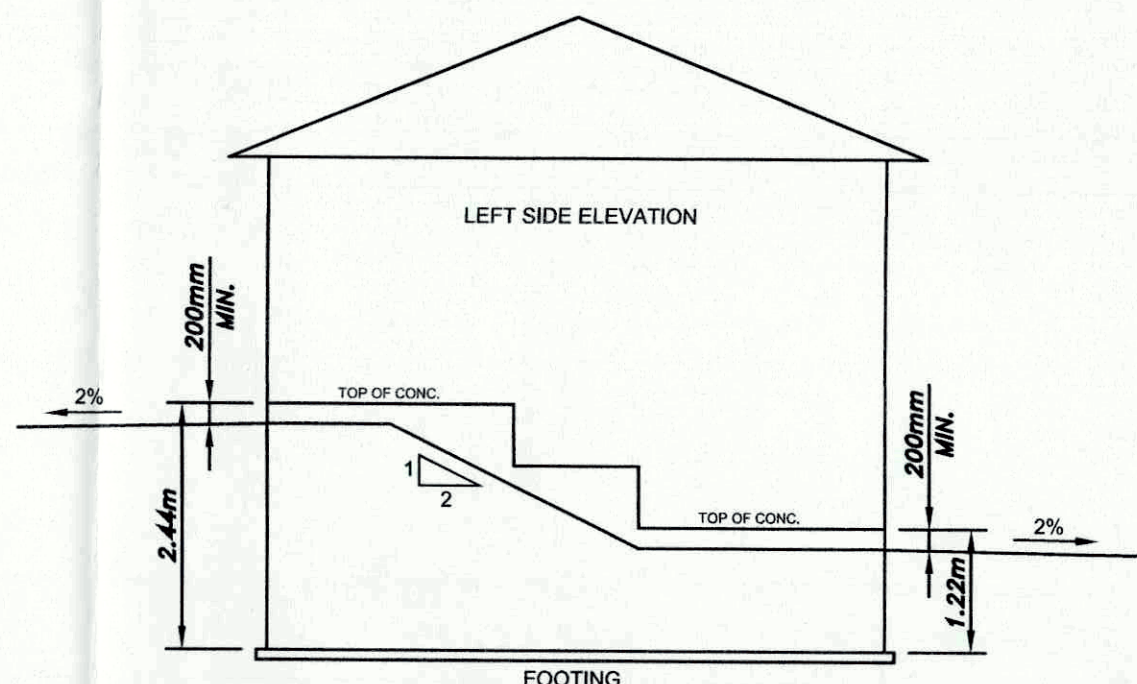
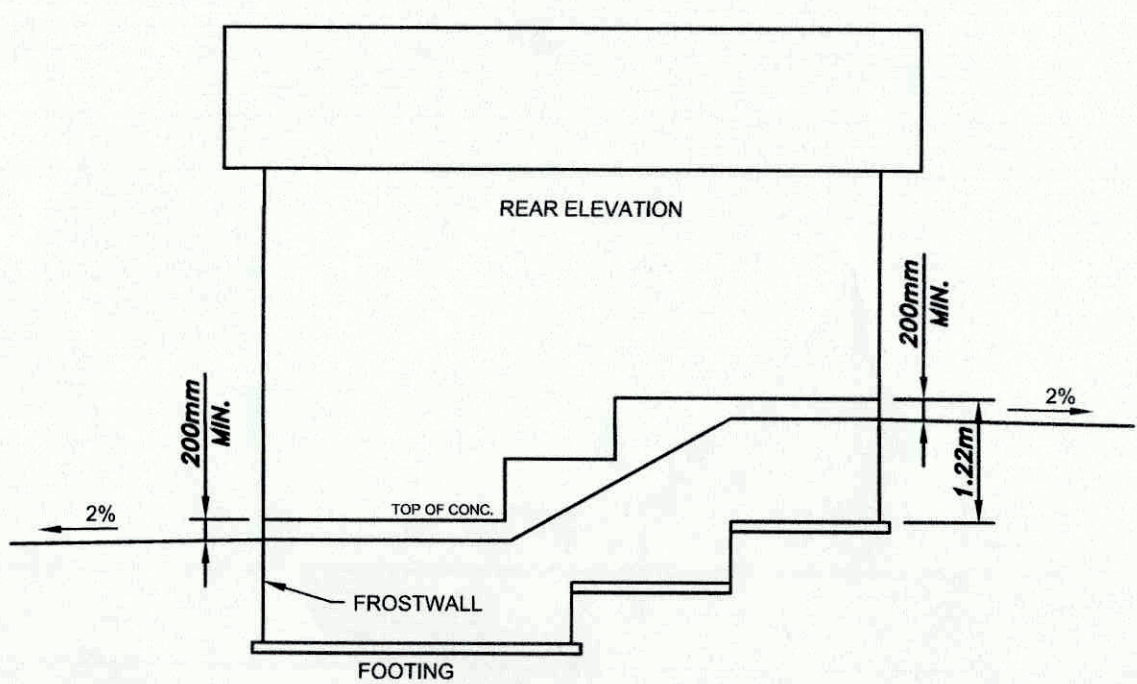
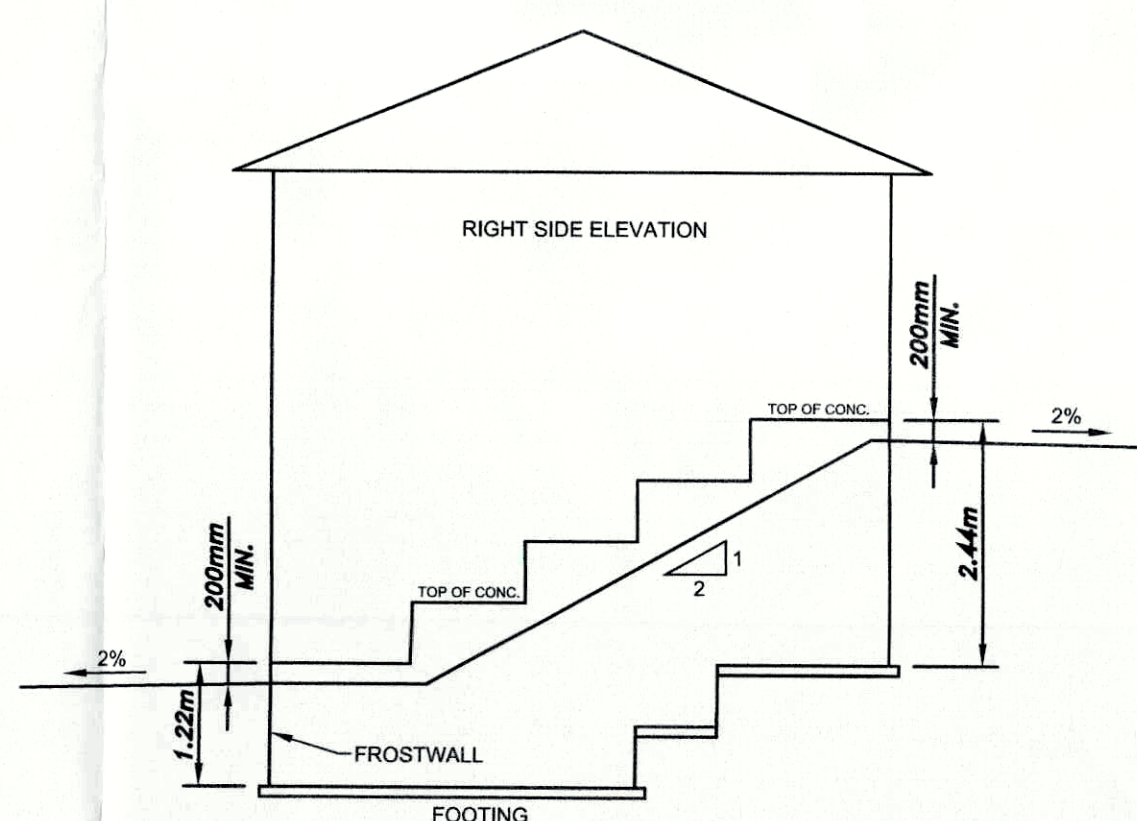
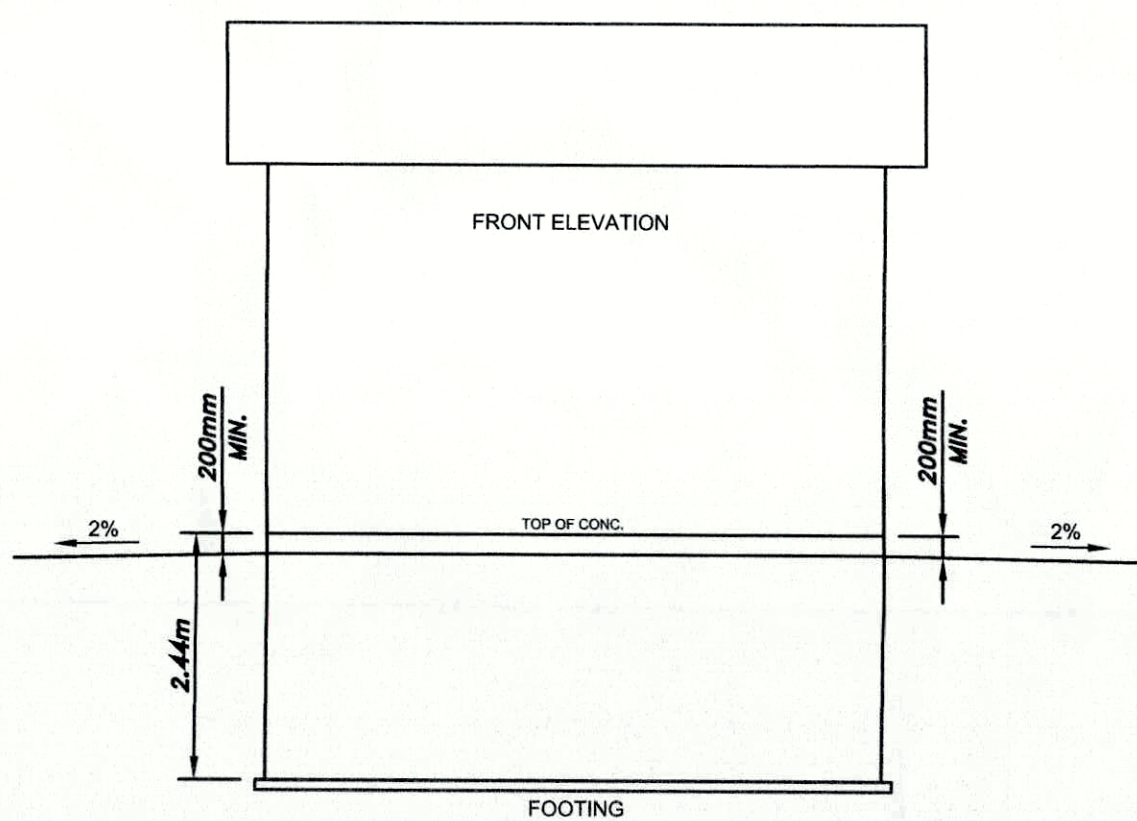
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**SPLIT ENTRY AT FRONT (1)**  
SCALE: 1 : 75  
D3



**SIDE SPLIT AT REAR (2)**  
SCALE: 1 : 75  
D3



**SIDE SPLIT AT FRONT (3)**  
SCALE: 1 : 75  
D3

NO.	REVISIONS	COMMENTS	DATE
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PROFESSIONAL STAMP



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Permit No. as issued by PEGNL L0331  
which is valid for the year 2015.

CLIENT

LaurMax Developments Inc.

PROJECT TITLE

GRAND MEADOWS  
STAGE 5

SHEET TITLE

CONSTRUCTION DETAILS - 03

PROJECT NO.

13022

DRAWN BY

SDB

CHECKED BY

KHH

DATE

MARCH 2014

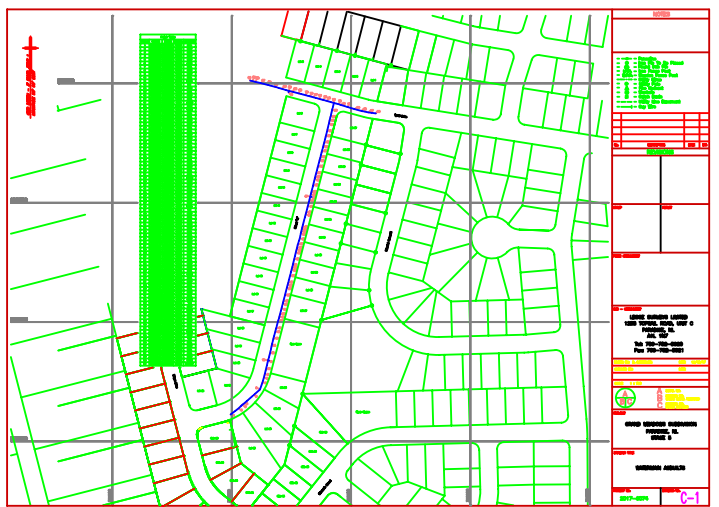
DRAWING NO.

D3

SCALE

AS SHOWN









## DEVELOPMENT APPROVAL

Applicant: Laurmax Developments  
c/o Deiter Stabitzer

Date of Issue: July 22, 2015

Application #: DA14-757

Expiry Date: July 22, 2016

The Council has considered your application dated July 29, 2014 for approval of a 37 lot subdivision to be known as Grand Meadows Phase 5. The Town of Paradise hereby approves the proposed development ***subject to the conditions attached hereto.***

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT.**

**An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NF, A1B 4J6. A fee of \$113.00 (\$100.00 plus \$13.00 HST), must be remitted along with the appeal.** Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.

A handwritten signature in blue ink, reading "C. Keith Saunders".

Signature of Town Clerk or  
Authorized Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**



## ZONING, SUBDIVISION AND ADVERTISEMENT REGULATIONS CONDITIONS (DA14-757)

1. The development must comply with the standards of the RMD (Residential Medium Density) Use Zone, Paradise Development Regulations, 2004.

Minimum Floor Area .....	80 m <sup>2</sup>
Minimum Building Line Set Back .....	7.6 metres
Maximum Building Line Set Back .....	15 metres
Minimum Rear Yard .....	9 metres
Minimum Side Yard .....	2.4/ 1.2 metres
Maximum Height .....	8 metres
Minimum Frontage .....	15.25 metres
Minimum Lot Area .....	450 m <sup>2</sup>
Minimum Lot Area, Corner Lot .....	630 m <sup>2</sup>

2. Any construction or building alteration must conform to the current National Building Code of Canada and any ancillary code.
3. Prior to the signing of the Development Agreement, the applicant must submit the following:
  - A legal survey and property description of the land shown on the application.
  - Proof of ownership of the land shown on the application.
  - Two sets of **revised engineered subdivision plans** that bear the permit stamp and signature of a professional engineer licensed to practice in the Province of Newfoundland and Labrador, and meet the approval of the Engineering Department of the Town of Paradise.
4. All work shall be carried out in accordance with the requirements of the Paradise Development Regulations, the terms of this permit, and all other rules and regulations, of the Town of Paradise.
5. The issue of this permit does not exempt the permit holder from obtaining any other permits or approvals required by law.
6. Any permit placard issued by the Town of Paradise relating to the work authorised must be displayed in full public view on the site.
7. The grade and sighting of all buildings on site shall be approved by the Town of Paradise. If a structure is to be placed on a "filled" area, the placement of the fill material must be supervised and certified by an engineering firm as suitable structure fill, as defined under the National Building Code of Canada.



**ZONING, SUBDIVISION AND ADVERTISEMENT REGULATIONS**  
**CONDITIONS (DA14-757)**

8. **Development of the lots must be in accordance with the approved subdivision grading plan and the Town's lot grading policy. It is the Developer's responsibility to ensure all builders are provided with copies of the approved grading plan and for ensuring that construction is in accordance with the approved grading plan.**
9. This permit does not authorise the occupancy or use of Crown Land or other lands without a lease, grant, or other permission of either the Crown or the rightful owner.
10. The development is subject to conditions to be imposed by a signed development agreement, payment of all required Development fees and submission of the appropriate securities in the form of a letter of irrevocable credit, bonding, or cash.
11. This development will require a subdivision excavation permit to be issued prior to any work being carried out. Any issues that may be identified upon submission of the required engineering drawings must be addressed to the approval of the Planning and Engineering Departments.
12. The developer is responsible for making arrangements with Canada Post and the Town for the provision of postal service to the proposed development. The proposed mail box sites must be approved by the Town prior to the signing of the "Development Agreement".
13. The development is subject to a \$500.00 per lot Park Outfitting Fee.
14. All development on properties serviced by municipal water and sewer lines will be subject to the payment of the \$500.00 per lot Trunk Sewer Fee, unless such fee has been remitted from the subdivision developer. Other assessments, as outlined in the Town of Paradise Fee Structure, may also apply.
15. Building Permits will not be issued until the subdivision has been brought to substantial completion as per the Town policy "Issuance of Permits in Subdivisions" (PPS-007).
16. It is the Developer's responsibility to ensure all engineering works are installed as per the approved plans and under the supervision of the engineering consultant. Further it is the Developer's responsibility to ensure all builders construct homes in accordance with the approved grading plan and that the approved grading plan has been supplied to the builder.
17. Should blasting be required to prepare the subdivision area, it is the developer's and/or property owner's responsibility to ensure all required permits are obtained from the appropriate government departments and/or agencies. In addition, the Town of Paradise must be notified well in advance of the blasting operation.
18. Developer must provide washroom facilities (i.e port-a-potty) for employees during the subdivision construction.



**ZONING, SUBDIVISION AND ADVERTISEMENT REGULATIONS**  
**CONDITIONS (DA14-757)**

19. It is the Developer's responsibility to ensure that all slopes are 2:1 and landscaped.
20. Prior to the signing of the Development Agreement, the large open space area located northwest of Bridgewater Avenue must be conveyed to the Town. This was outlined to the Developer in previous phases. This area was to have been conveyed to the Town as part of the Highland Estates development and as per a legal agreement between the previous owner of the land and the Town of Paradise.

**\*\* Note \*\*** Subdivision Development fees do not include the \$3000 infrastructure fee and/or Building Permit fees. The Infrastructure fee and Building Permit fees are collected with the issuance of the Building Permit for each dwelling.

  
Signature of Town Clerk or  
Authorized Municipal Officer



# Town of Paradise Zoning Map



## GRAND MEADOWS PHASE 5

Rural Residential

Residential Medium Density

CALLIE'S LANE

RIDGEWOOD DRIVE

MAGEE DRIVE

MAYFAIR AVENUE

STONEWALL DRIVE

WESTPORT DRIVE

TYRELL DRIVE

FAIRMONT PLACE

MONACO DRIVE

MEADOW ROAD

CAMELOT CRESENT

ELLSWORTH STREET

MULLINGAR DRIVE

FLANNERY STREET

CRIMSON STREET