



Response to Applicant - Partial Disclosure  
Form 4A

August 12, 2021

[REDACTED]

[REDACTED]

Re: Your request for access to information under Part II of the **Access to Information and Protection of Privacy Act, 2015** [Our File # 2021-21]

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On July 14, 2021, the Town of Paradise received your request for access to the following records/information:

1. *Please forward along all information related to planning, review, and approval of the three (3) lot development at the end of Corcoran Rd. [REDACTED]. Applications, permits, council meeting minutes, development plans for this project, including all modifications required to NL Power lines in the area.*
2. *In relation to the three (3) lot development at the end of Corcoran Rd. [REDACTED], Town of Paradise Development Regulations Section 6.12 indicates that cul-de-sac street length shall not exceed 200 m from the intersecting road (Topsail Rd. in this case), but the proposed development is well over 400 m from Topsail Road. Please advise if there were any notices of deviation issued for this violation of the development guidelines? If so, please provide all related correspondence.*
3. *In relation to the three (3) lot development at the end of Corcoran Rd. [REDACTED] Blvd., please advise if the Town of Paradise expropriated any land in relation to the development?*

I am pleased to inform you that a decision has been made by the ATIPP Coordinator for the Town of Paradise to provide access to the requested information. Access to some of the information within the requested records has been refused in accordance with the following mandatory exception to disclosure, as specified in the Access to Information and Protection of Privacy Act, 2015 (the Act):

*29. Policy Advice or Recommendations*

*29.1. The head of a public body may refuse to disclose to an applicant information that would reveal (a) advice, proposals, recommendations, analyses or policy options developed by or for a public body or minister.*

*28. Local public body confidences*

*28.1 The head of a local public body may refuse to disclose to an applicant information that would reveal (c) the substance of deliberations of a meeting of its elected officials or governing body or a committee of its elected officials or governing body, where an Act authorizes the holding of a meeting in the absence of the public.*

*40. Disclosure harmful to personal privacy*

*40.1. The head of a public body shall refuse to disclose personal information to an applicant where the disclosure would be an unreasonable invasion of a third party's personal privacy.*

Please be advised that you may ask the Information and Privacy Commissioner to review the processing of your access request, as set out in section 42 of the Access to Information and Protection of Privacy Act, 2015 (the Act). A request to the Commissioner must be made in writing within 15 business days of the date of this letter or within a longer period that may be allowed by the Commissioner.

The address and contact information of the Information and Privacy Commissioner is as follows:

Office of the Information and Privacy Commissioner  
2 Canada Drive  
P. O. Box 13004, Stn. A  
St. John's, NL. A1B 3V8  
Telephone: (709) 729-6309  
Toll-Free: 1-877-729-6309  
Facsimile: (709) 729-6500

You may also appeal directly to the Supreme Court within 15 business days after you receive the decision of the public body, pursuant to section 52 of the Act.

If you have any further questions, please feel free to contact me by telephone or email.

Sincerely,

*Corey Smith*

for

Terrilynn Smith  
ATIPP Coordinator

- 1. All information related to planning, review, and approval of the three (3) lot development at the end of Corcoran Rd., [REDACTED] includes applications, permits, and development plans for this project, including all modifications required to NL Power lines in the area.**

Please see attached for responsive records.

- 2. In relation to the three (3) lot development at the end of Corcoran Rd., the Town of Paradise Development Regulations Section (6.12) indicates that cul-de-sac street length shall not exceed 200 m from the intersecting road (Topsail Rd. in this case), but the proposed development is well over 400 m from Topsail Road. Please advise if there were any notices of deviation issued for this violation of the development guidelines? If so, please provide all related correspondence.**

The estimated measurement of the cul-de-sac noted above is approximately 308 meters. This measurement was taken based on Development Regulations, Section 6.12 (a) (iii). Accordingly, the length of the cul-de-sac was measured from the nearest intersection (i.e., Greenfields Place).

There were no notices of deviation provided regarding the length of the cul-de-sac.

Town of Paradise Development Regulations, Section 6.12 (a) (iii):

*“The length of a cul-de-sac street shall be measured from the street line of the street it intersects with, to the end of the street, excluding the area of the turning circle. A Streetline “means the edge of the right-of-way of a street reservation as defined by the Authority having jurisdiction.”*

- 3. In relation to the three (3) lot development at the end of Corcoran Rd., please advise if the Town of Paradise expropriated any land in relation to the development?**

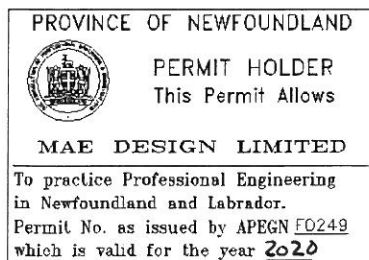
The Town did not expropriate any land in relation to the three (3) lot development at the end of Corcoran Rd.

MAE PROJECT NO. 2012.106  
STORM WATER MANAGEMENT REPORT  
CORCORAN'S ROAD EXTENSION  
PARADISE, NL

PREPARED BY  
STEPHEN POWER, P.ENG.



April 24, 2020



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**Appendix List**

- Appendix A Post Development Drainage Area
- Appendix B Summary Tables of Post Development Runoff
- Appendix C Post Development High Water Line Limitations

## **1.0 Background**

As part of the development conditions put forth by the Town of Paradise for the extension of Corcoran's Road, the existing brook crossing the property would have to be evaluated to determine its 1 in 100 year high water line and a culvert would have to be designed for crossing the brook.

The existing brook was modeled through the 2018 XPSWMM software using the data contained within.

## **2.0 Existing Property Conditions**

The existing property consists of vacant land with sporadic trees and shrubs. An existing brook crosses the property. The existing brook begins just upstream of the subject property where the road side ditching from Duff's Crescent and the storm water discharge from Spracklin Boulevard intersect. The property is located in a residential area.

A pre development storm drainage model was not completed for this development. The focus of concern was the post development 1 in 100 year flood line and its encroachment onto the proposed development as well as the design of a culvert crossing for the proposed roadway extension.

## **3.0 Proposed Developed Property**

The proposed residential development consists of the construction of three (3) building lots along with driveways and landscape perimeters.

The proposed developed property was divided into four (4) drainage areas for the storm design model. The drainage areas were selected based upon existing storm infrastructure and sloping. The post development storm drainage drawings indicating the areas along with the land descriptions is enclosed in Appendix A.

## **4.0 Storm Water Analysis**

A topographical survey was completed of the existing brook upstream and downstream of the proposed development. This information was used to determine cross sections of the brook in between the existing culvert crossing Greenfield Place and the storm water outlet near Duff's Crescent.

By entering the field data obtained in the XPSWMM software along with the climate change updated hyetographs provided by the city of St. John's on August 8, 2017, we were able to determine the peak flows, total runoff volume and high water line for the post development conditions.

It was determined that the proposed culvert crossing for this proposed roadway extension would be a 2.0 meter wide by 1.0 meter high box culvert.

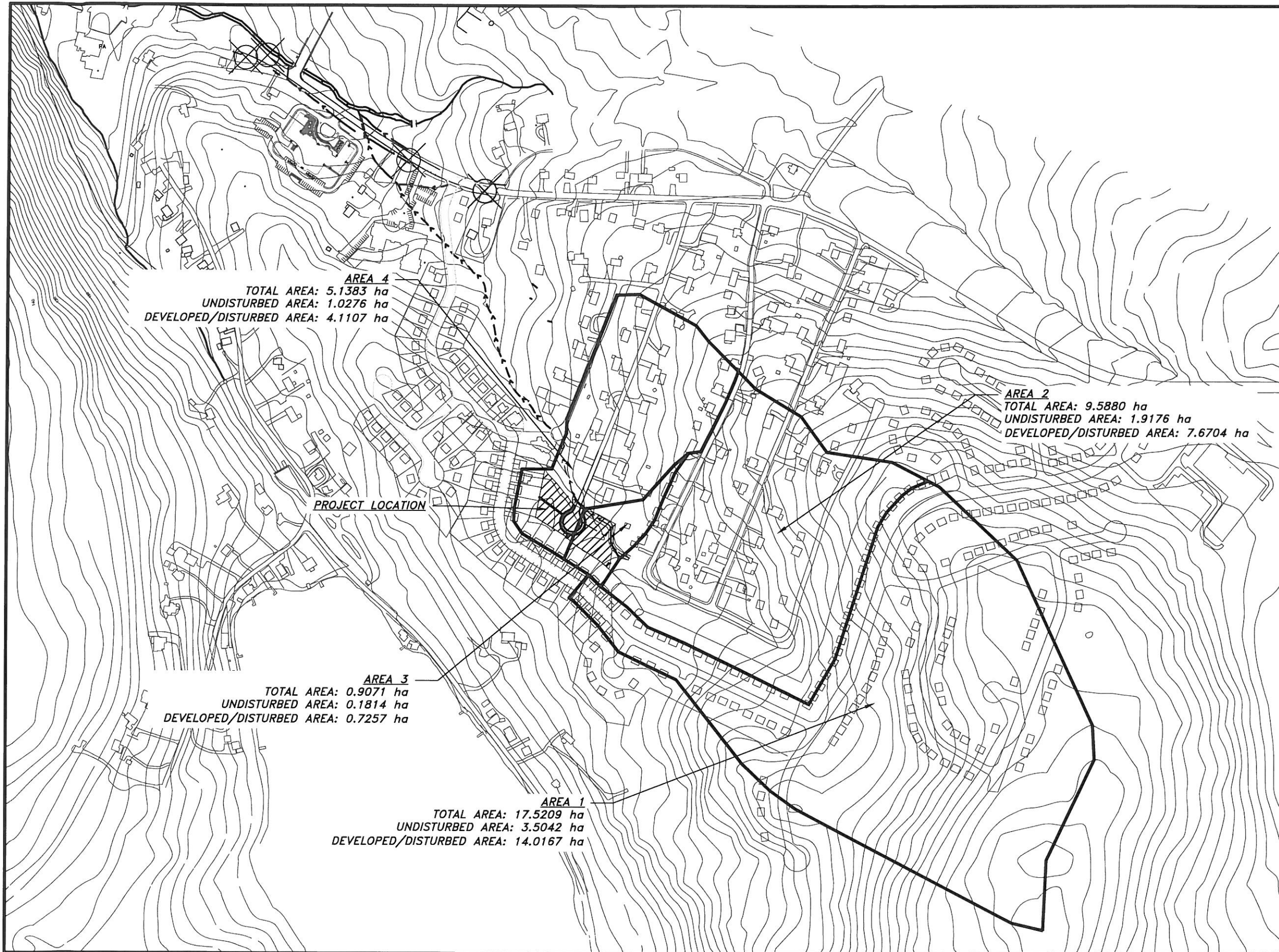
As well the 100 year flood plain limitations were determined from the storm model and are illustrated in Appendix C. A 15.0 meter buffer from the 100 year flood plain is also illustrated on this drawing.

No future infrastructure was incorporated in our storm model. All upstream Residential areas were modeled as 80% impervious and 20% pervious.

Summary tables of the post development peak flows and total runoff volumes for each design storm are enclosed in Appendix B.

**APPENDIX A**

**Post Development Drainage Areas**




**NOTES**

1.	ISSUED FOR REVIEW	22/04/20
No.	DESCRIPTION	dd/mm/yy


PERMIT

PROVINCE OF NEWFOUNDLAND AND LABRADOR  
**ENGINEERING PERMIT F0249**  
  
**MAE DESIGN LIMITED**  
 MIRC NO: 07074  
 Signature or Member Number (Member-In-Responsible Charge)

STAMP




STEPHEN POWER  
 22-04-2020



NORTH REFERENCE

PRIME CONSULTANT

  
**MAE Design Limited**  
 CONSULTING ENGINEERS

TEL (709) 834-1554 FAX (709) 834-1558

DRAWN BY: S.P.	DATE: APRIL 2020
CHECKED BY: S.P.	DATE: APRIL 2020
APPROVED BY: S.P.	DATE: APRIL 2020

SCALE: 1:5000

A	DETAIL NO.
B/C	DRAWING NO. WHERE DETAIL REQUIRED
C	DRAWING NO. WHERE DETAILED

PROJECT

**PROPOSED EXTENSION  
 CORCORAN'S ROAD**

TOWN OF PARADISE, NL

DRAWING TITLE

**POST DEVELOPMENT  
 STORM AREAS**

PROJECT No.	DRAWING No.
2012.106	<b>STM-1</b> SHEET 1 OF 1

**APPENDIX B**

**Summary Tables of Post Development Runoff**

# Summary of Post Development Conditions

Project: Corcoran's Road Extension

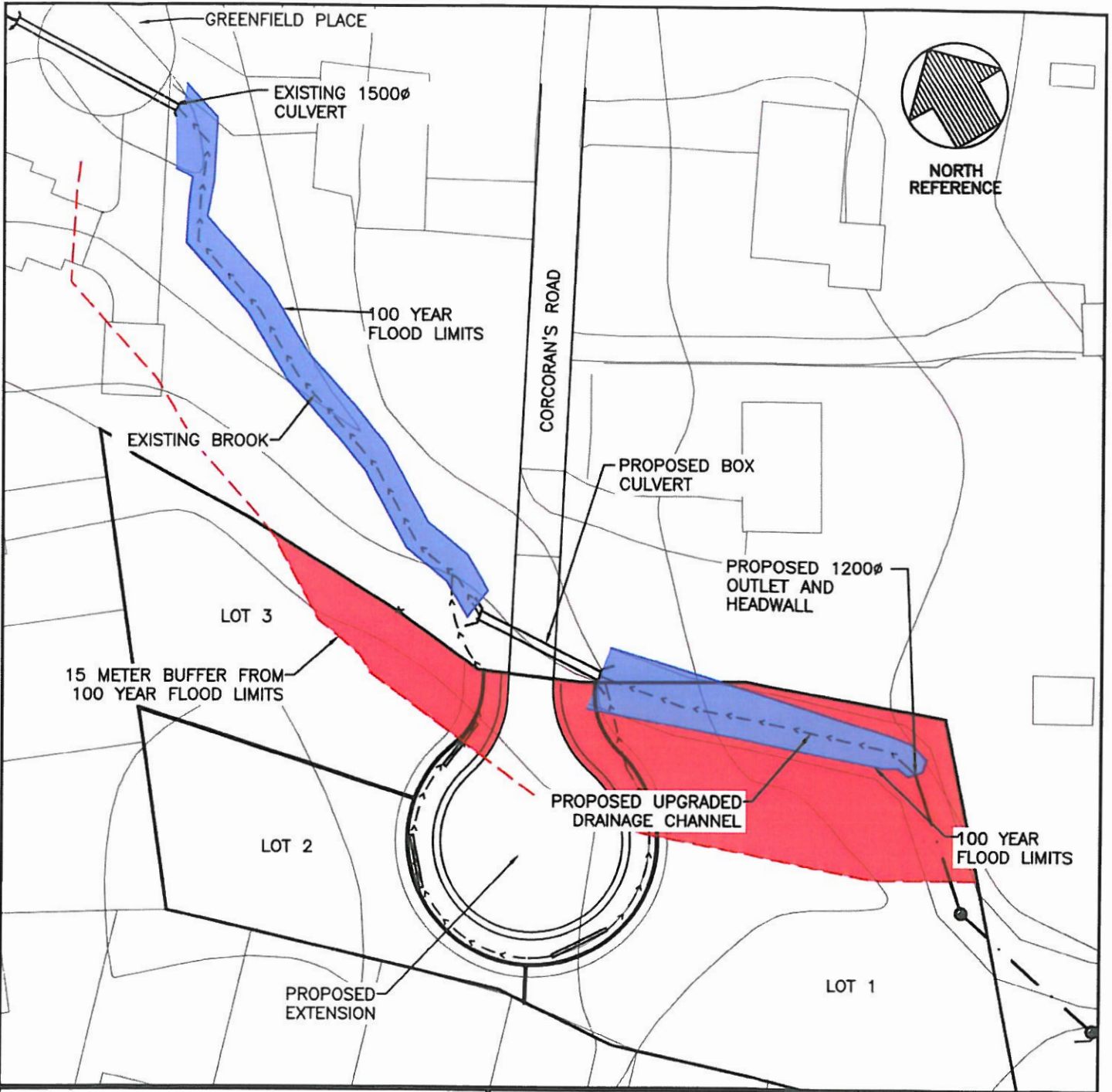
Completed by: Stephen Power, P.Eng.


Date: 24-04-2020

100 Year				
Duration	Runoff (l/s)		Volume (m <sup>3</sup> )	
	Post Development		Post Development	
	Box Culvert	Total	Box Culvert	Total
1 hr	9583	9583	17817	17817
2 hr	7203	7203	23191	23191
6 hr	4034	4034	35526	35526
12 hr	3340	3340	47522	47522
24 hr	1630	1630	56606	56606

## **APPENDIX C**

### **Post Development High Water Line and Buffer**



CLIENT <b>INDEX INVESTMENTS</b>			PROJECT TITLE <b>CORCORAN'S ROAD EXTENSION PARADISE</b>			
DRAWING TITLE  <b>POST DEVELOPMENT 1:100 HIGH WATER LIMITS</b>			 TEL (709) 834-1554      FAX (709) 834-1558			DRAWING NO.  <b>SK-1</b>
DATE APRIL 21, 2020	DESIGNED BY S. POWER	DRAWN BY S. POWER				APPROVED S. POWER



GENERAL APPLICATION

ATIPP S 40(1)

Receipt No. S2020-008

Applicant: Index Investments
Mailing Address: 640 St. James Drive Paradise, NL A1L 2T2
Property Owner: M. R. Henry Stracklin
Contractor: [Redacted]

TYPE OF PERMIT / PERMISSION

Building (all structures): [ ] Development Approval: [x] Approval in Principle: [ ]
Change/New Occupancy: [ ] Repairs/Renovations: [ ] Demolition: [ ]
Residential Subdivision: [x] # of proposed lots: 3 Fence: [ ]
Development Location: Corcoran's Rd Construction Value: +/- 100,000

DESCRIPTION OF LAND TO BE DEVELOPED

Frontage: [ ] (m/ft) Depth: [ ] (m/ft) Area: [ ] (m^2/ft^2)
As per Survey: [x]

EXISTING LAND USES (check appropriate box(es) & specify)

Residential: [ ] Crown Land: [ ] Unknown: [ ]
Commercial: [ ] Vacant: [x] Other: [ ]

DESCRIBE INTENDED USE

If Residential:
Single Family Dwelling: [x] Single Family Dwelling w/ Apartment: [ ] Extension to Dwelling: [ ]
Add Apartment to existing: [ ] Accessory Bldg (shed/garage): [ ] Other: [ ]
If Commercial:
Retail: [ ] Industrial: [ ] Extension to Building: [ ] Office: [ ]
Restaurant: [ ] New Tenant Up Fit: [ ] Other: [ ]

DESCRIBE BUILDING (if applicable)

Dimension: [ ] x [ ] (m/ft) Area: [ ] (m^2/ft^2) Height: [ ] (m/ft) Setback: [ ] (m/ft)
Heating Type: [ ] # Washrooms: [ ] Attached Garage: Y/N
Propane/Oil Appliances: [ ]

DESCRIBE RENOVATION, REPAIR, EXTENSION, ETC. (Additional Information)

Extension of Road for development of Residential Building lots.

PROPOSED MEANS OF SERVICING

Municipal Sanitary Sewer: [x] Onsite Drilled Well: [ ] Municipal Water: [x]
Municipal Storm Sewer: [ ] Onsite Septic Disposal System: [ ]
Weeping Tile to Dry Pit or Other: [x]

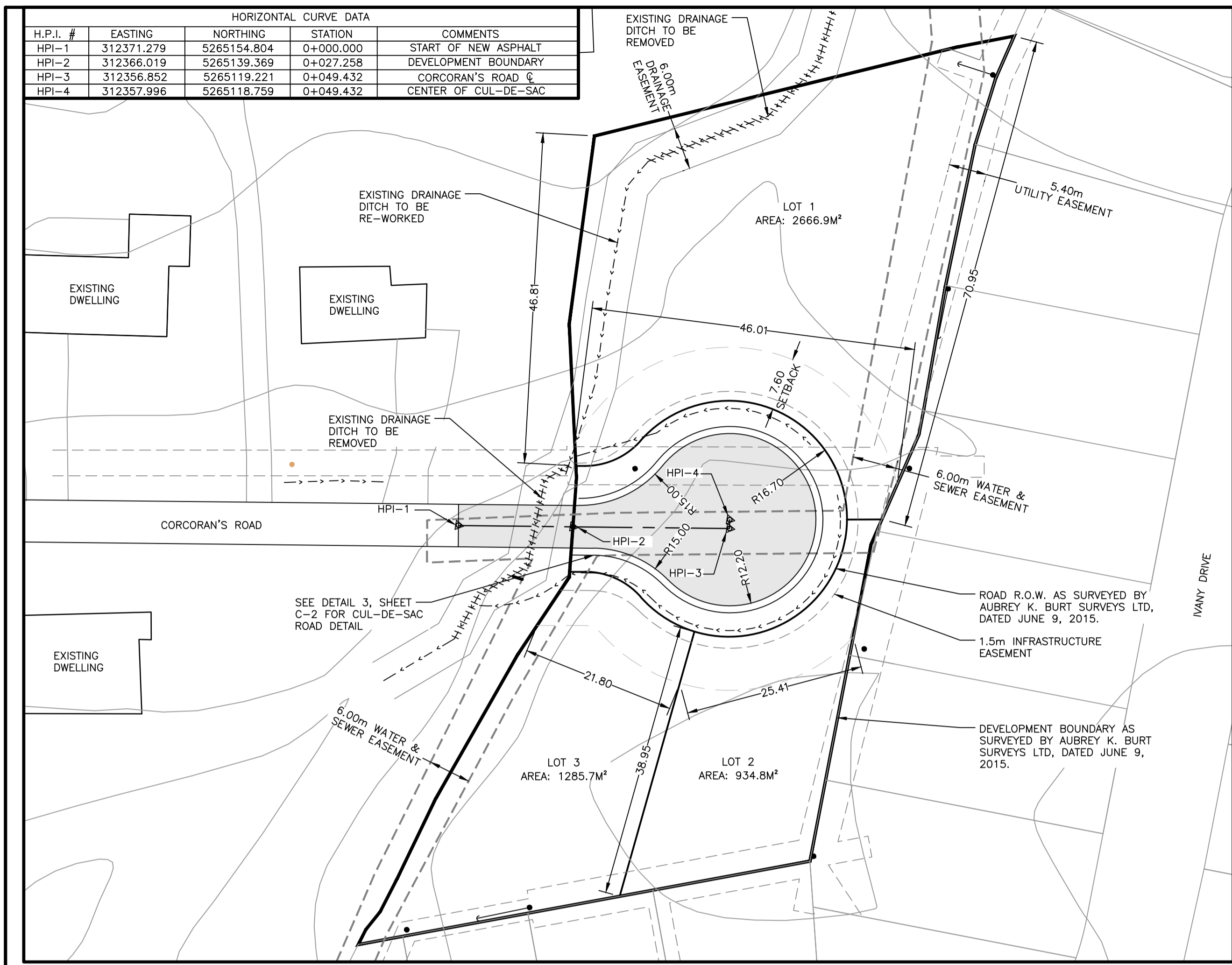
PROPOSED MEANS OF ACCESS

New Access (Culvert): [ ] New Access (Subdivision): [ ]

[Redacted] do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, that the location and plot plan submitted correctly sets out the location of the development described in the said application. I/we make this solemn declaration, with the full knowledge of the property owner, and knowing that it is true and correct under oath.

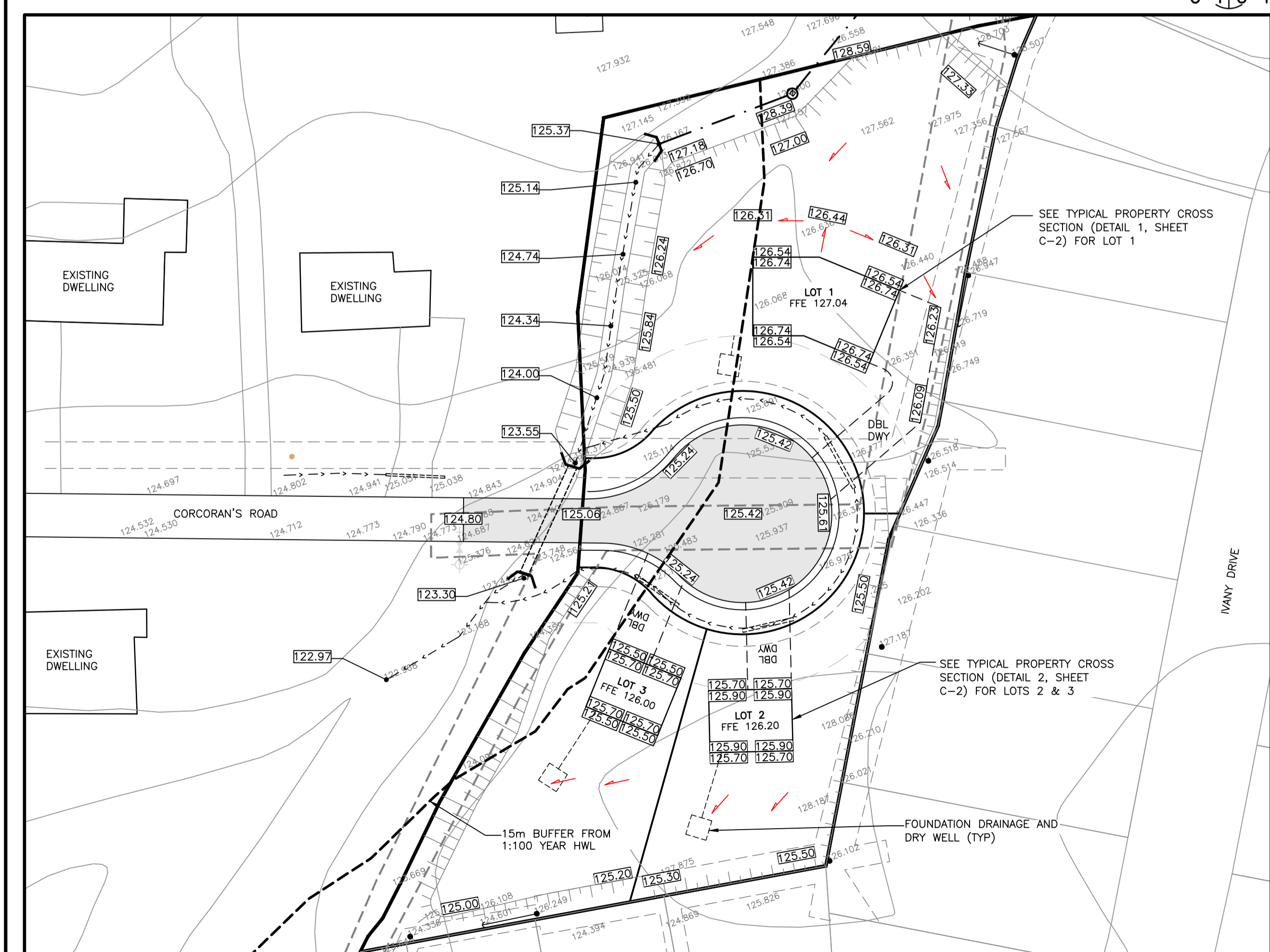
Date: April 24, 2020

ATIPP S 40(1)



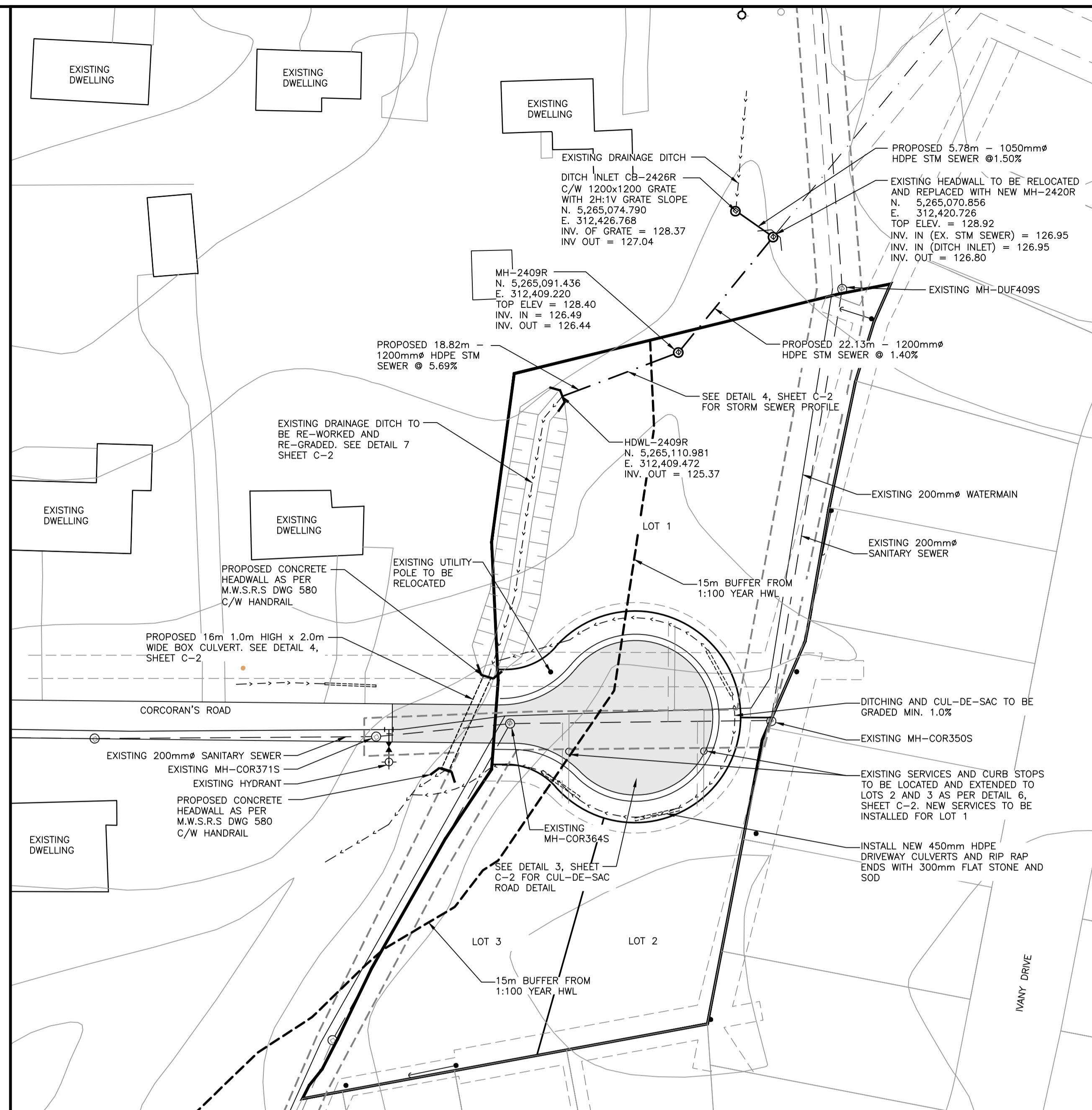
LOT DIMENSION PLAN & HPI DATA  
SCALE = 1:500

1  
C-1 | C-1



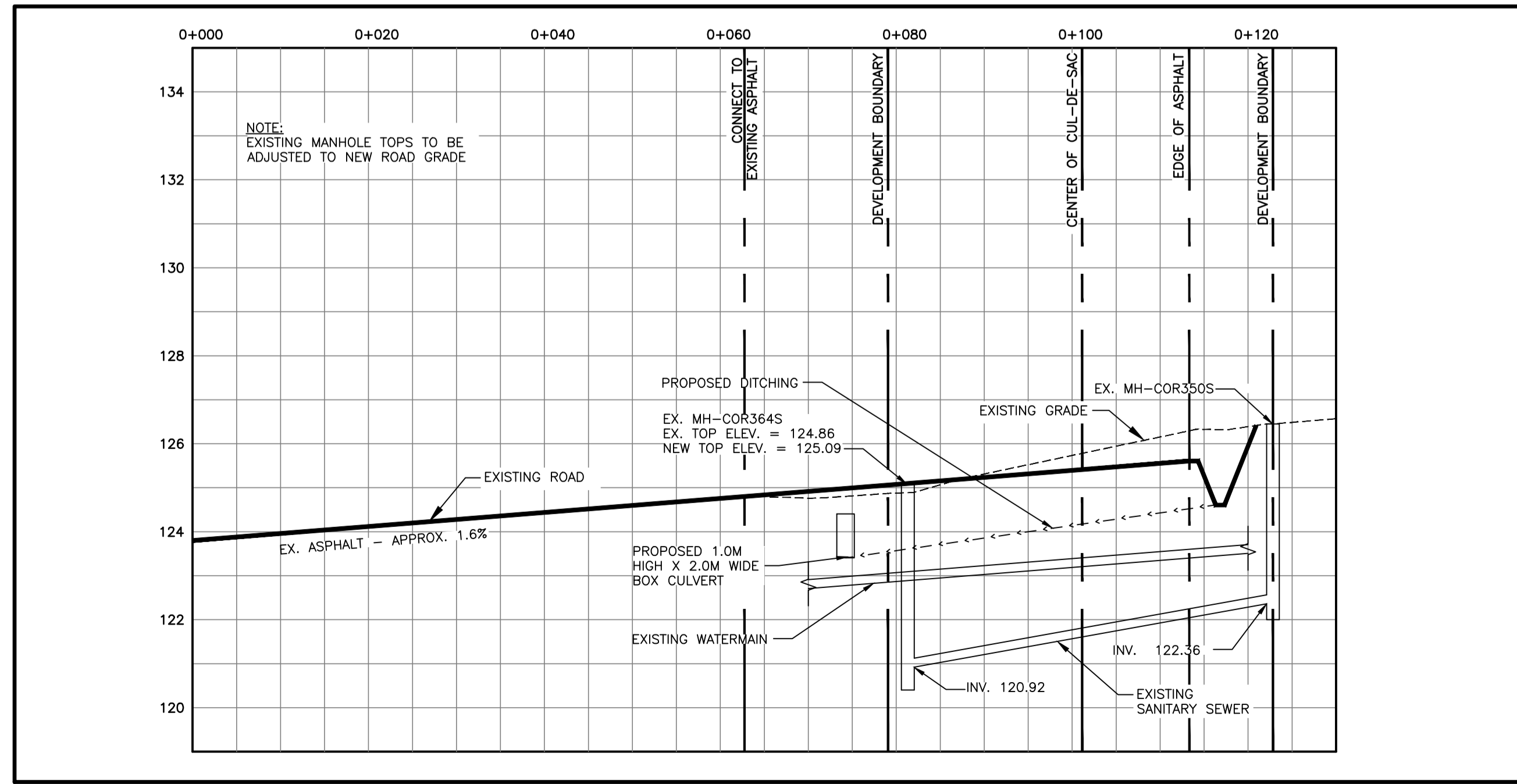
LOT GRADING PLAN  
SCALE = 1:500

3  
C-1 | C-1



ROAD EXTENSION PLAN  
SCALE = 1:500

2  
C-1 | C-1



CORCORAN'S ROAD PROFILE  
SCALE = 1:500 HORZ. 1:100 VERT.

4  
C-1 | C-1

NOTES

No.	DESCRIPTION	BY	DD/MM/YY
3.0	REVISED AND RE-ISSUED FOR REVIEW	KN	22/04/20
2.0	ISSUED FOR REVIEW	MS	08/04/20
1.0	ISSUED FOR CLIENT REVIEW	KN	22/03/16

REVISIONS

PROVINCE OF NEWFOUNDLAND AND LABRADOR  
**ENGINEERING PERMIT F0249**

**MAE DESIGN LIMITED**

MIRC NO: 02778  
Signature of Member Number (Member-In-Responsible Charge)

STAMP

PROFESSIONAL ENGINEER  
ROBIN SUMMERS  
SIGNATURE  
APR 22, 2020  
DATE

PRIME CONSULTANT

**MAE Design Limited**  
CONSULTING ENGINEERS

TEL (709) 834-1554 FAX (709) 834-1558

SUB-CONSULTANT

DRAWN BY: K. NORMAN	MARCH 4, 2016
CHECKED BY:	
APPROVED BY:	
SCALE: AS NOTED	

PROJECT

**PROPOSED EXTENSION CORCORAN'S ROAD**

TOWN OF PARADISE, NL

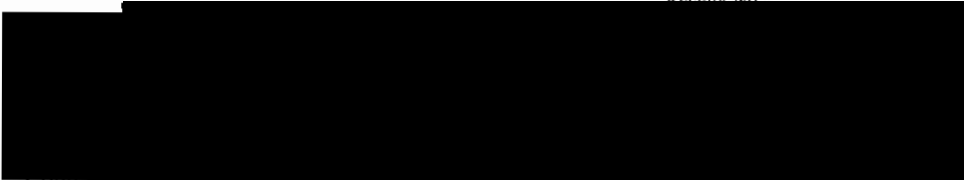
DRAWING TITLE

**LOT DIMENSION PLAN, GRADING PLAN AND PROFILE**



GENERAL APPLICATION

Receipt No. \_\_\_\_\_



Contractor: \_\_\_\_\_ Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**TYPE OF PERMIT / PERMISSION**

Building (all structures):  Development Approval:  Approval in Principle:   
 Change/New Occupancy:  Repairs/Renovations:  Demolition:   
 Residential Subdivision:  # of proposed lots: 3 Fence:   
 Development Location: Corcoran's Rd Construction Value: ± 100,000

ATIPP S40(1)

**DESCRIPTION OF LAND TO BE DEVELOPED**

Frontage: \_\_\_\_\_ (m/ft) Depth: \_\_\_\_\_ (m/ft) Area: \_\_\_\_\_ (m<sup>2</sup>/ft<sup>2</sup>)  
 As per Survey:

**EXISTING LAND USES (check appropriate box(es) & specify)**

Residential:  \_\_\_\_\_ Crown Land:  \_\_\_\_\_ Unknown:  \_\_\_\_\_  
 Commercial:  \_\_\_\_\_ Vacant:  \_\_\_\_\_ Other:  \_\_\_\_\_

**DESCRIBE INTENDED USE**

*If Residential:*

Single Family Dwelling:  Single Family Dwelling w/ Apartment:  Extension to Dwelling:   
 Add Apartment to existing:  Accessory Bldg (shed/garage):  Other:

*If Commercial:*

Retail:  Industrial:  Extension to Building:  Office:   
 Restaurant:  New Tenant Up Fit:  Other:  \_\_\_\_\_

**DESCRIBE BUILDING (if applicable)**

Dimension: \_\_\_ x \_\_\_ (m/ft) Area: \_\_\_ (m<sup>2</sup>/ft<sup>2</sup>) Height: \_\_\_ (m/ft) Setback: \_\_\_ (m/ft)  
 Heating Type: \_\_\_\_\_ # Washrooms: \_\_\_\_\_ Attached Garage: Y/N  
 Propane/Oil Appliances: \_\_\_\_\_

**DESCRIBE RENOVATION, REPAIR, EXTENSION, ETC. (Additional Information):**

Extension of Road for Development of Residential Building lots

**PROPOSED MEANS OF SERVICING**

Municipal Sanitary Sewer:  Onsite Drilled Well:  Municipal Water:   
 Municipal Storm Sewer:  Onsite Septic Disposal System:   
 Weeping Tile to Dry Pit or Other:  \_\_\_\_\_

**PROPOSED MEANS OF ACCESS**

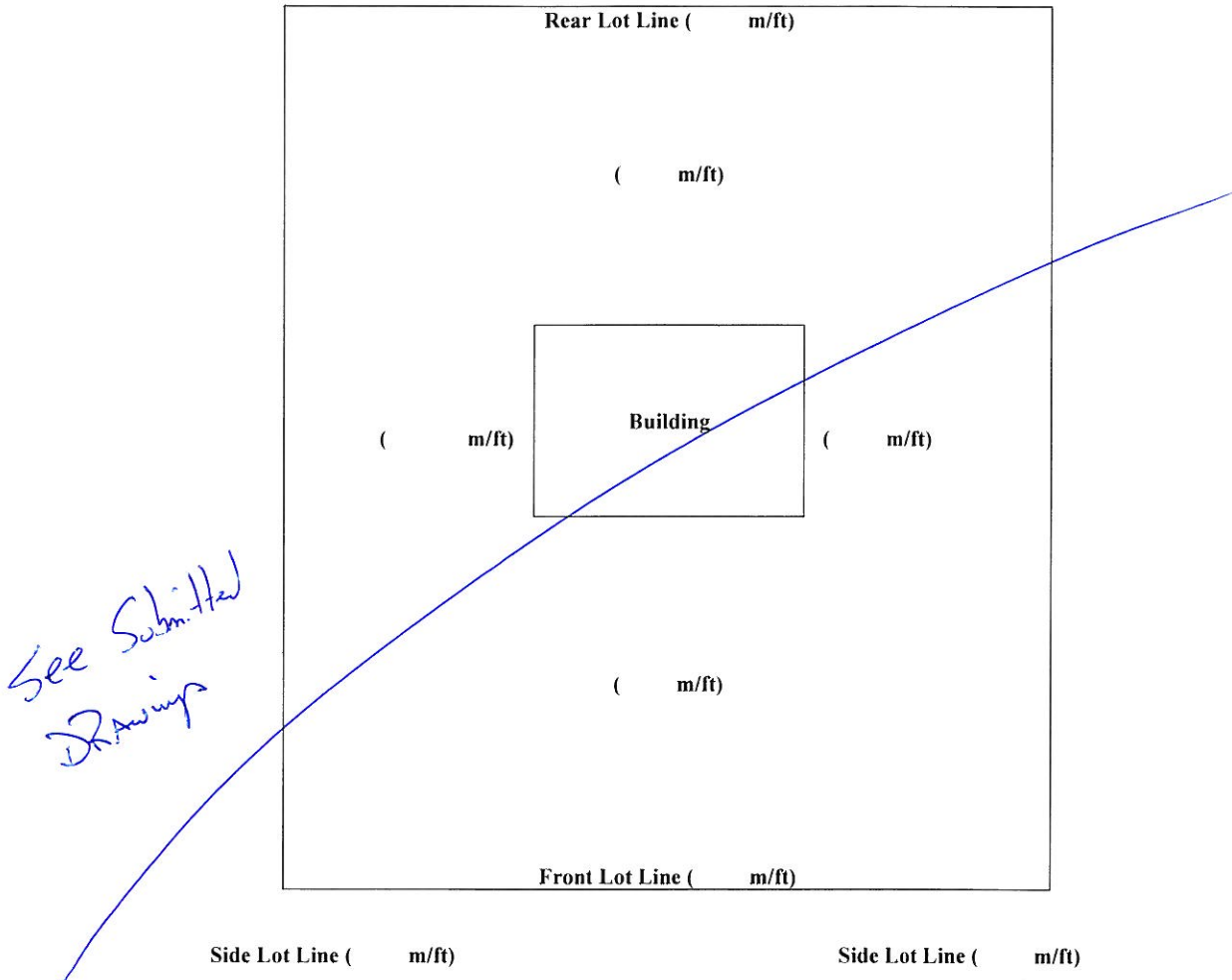
New Access (Culvert):  New Access (Subdivision):

\_\_\_\_\_ Applicant(s) named herein, do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, that the location and plot plan submitted correctly sets out the location of the development described in the said application. I/we make this solemn declaration, co-\_\_\_\_\_ with the full knowledge of the property owner, and knowing that it is true and correct under oath.

Signature: \_\_\_\_\_ Date: April 24, 2020

## PLOT PLAN

Please indicate the proposed location of the new building in relation to the Lot Lines. Indicate the location of accessory buildings, fences, and extensions in relation to the existing building and the Lot Lines. Also indicate the distance between the accessory building and the existing building. Please indicate driveway location.



Street Name and Number: \_\_\_\_\_

Collection of personal information via this form is authorized under the Access to Information and Protection of Privacy Act, 2015 and is needed to process your application. Questions about the collection and use of the information may be directed to [planninggroup@paradise.ca](mailto:planninggroup@paradise.ca).



GENERAL APPLICATION

Receipt No.: \_\_\_\_\_
Application No.: \_\_\_\_\_

Applicant: Index Investments Inc. Phone: [Redacted] Fax: \_\_\_\_\_
Mailing Address: 64 Ortega Drive
Property Owner: Paradise, NL A1L 2J2 Phone: \_\_\_\_\_
Property Owner Address: \_\_\_\_\_
Contractor: \_\_\_\_\_ Address: \_\_\_\_\_ Phone: \_\_\_\_\_

TYPE OF PERMIT / PERMISSION

Building (all structures): [ ] Development Approval: [x] Approval in Principle: [ ]
Change/New Occupancy: [ ] Repairs/Renovations: [ ] Demolition: [ ]
Residential Subdivision: [ ] # of proposed lots: \_\_\_\_\_ Fence: [ ]
Development Location: \_\_\_\_\_ Construction Value: \_\_\_\_\_

DESCRIPTION OF LAND TO BE DEVELOPED

Frontage: 50 m (m/ft) Depth: 110 m (m/ft) Area: 0.60 ha (m^2/ft^2)
As per Survey: [ ] Engineering Drawings Attached

ATIPP S40(1)

EXISTING LAND USES (check appropriate box(es) & specify)

Residential: [ ] Crown Land: [ ] Unknown: [ ]
Commercial: [ ] Vacant: [x] Other: [ ]

DESCRIBE INTENDED USE

If Residential:

Single Family Dwelling: [x] Single Family Dwelling w/ Apartment: [ ] Extension to Dwelling: [ ]
Add Apartment to existing: [ ] Accessory Bldg (shed/garage): [ ] Other: [ ]

If Commercial:

Retail: [ ] Industrial: [ ] Extension to Building: [ ] Office: [ ]
Restaurant: [ ] New Tenant Up Fit: [ ] Other: [ ]

DESCRIBE BUILDING (if applicable) Not Applicable

Dimension: \_\_\_ x \_\_\_ (m/ft) Area: \_\_\_ (m^2/ft^2) Height: \_\_\_ (m/ft) Setback: \_\_\_ (m/ft)
Heating Type: \_\_\_\_\_ # Washrooms: \_\_\_\_\_ Attached Garage: Y/N
Propane/Oil Appliances: \_\_\_\_\_

DESCRIBE RENOVATION, REPAIR, EXTENSION, ETC. (Additional Information):

Extension to Corcoran's Road - Development Previously Approved for 3 Lots. This Submission Changed to 4 Lots.

PROPOSED MEANS OF SERVICING

Municipal Sanitary Sewer: [x] Onsite Drilled Well: [ ] Municipal Water: [x]
Municipal Storm Sewer: [ ] Onsite Septic Disposal System: [ ]
Weeping Tile to Dry Pit or Other: [x]

PROPOSED MEANS OF ACCESS

Existing Access: [x] New Access (Culvert): [ ] New Access (Subdivision): [ ]

I/we, the Applicant(s) named herein, do solemnly declare the true and made with a full knowledge of the and plot plan submitted correctly sets out the ication. I/we make this solemn declaration, vledge of the property owner, and knowing that

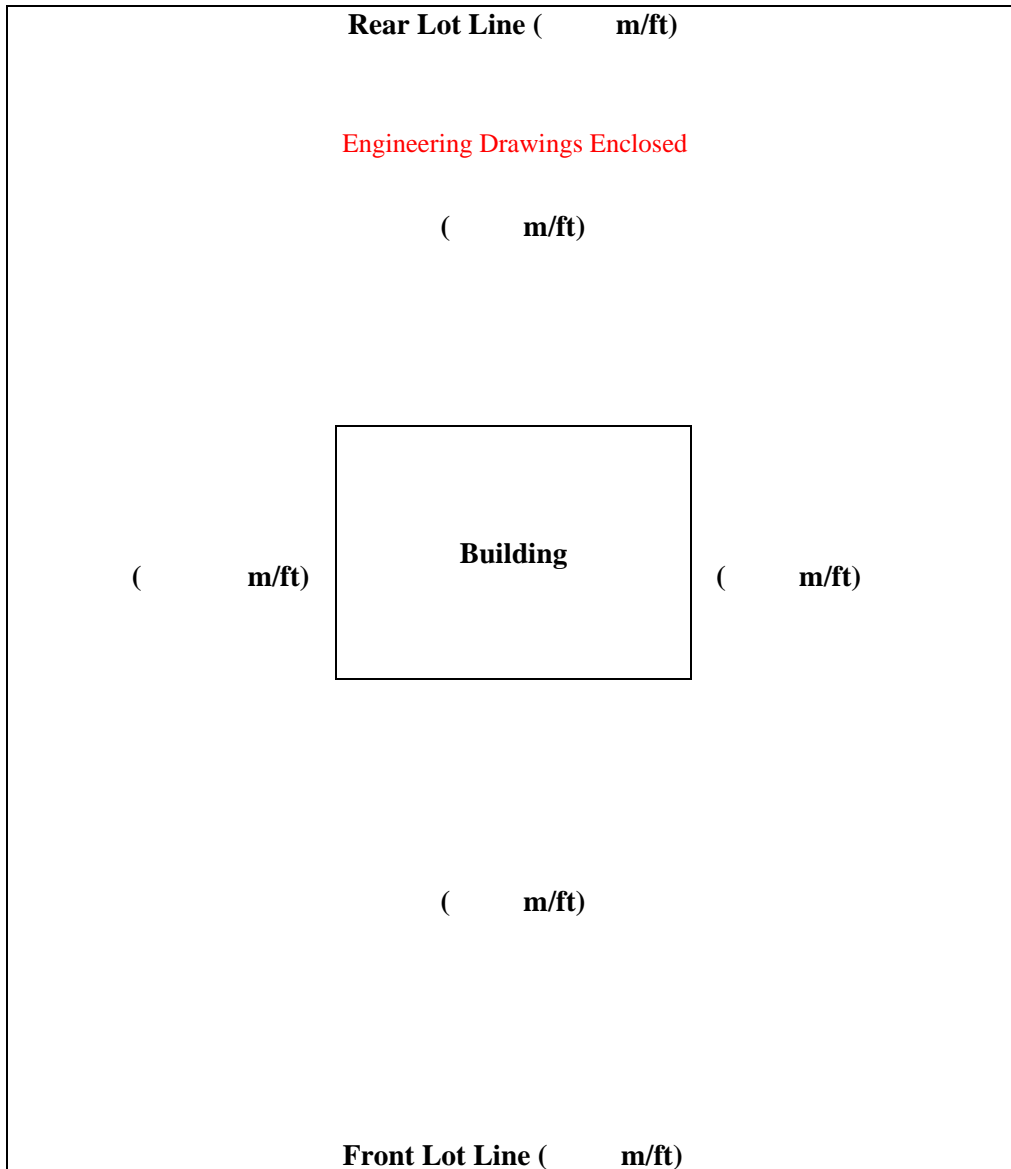
Date: 2020-12-07

ndland Labrador, Canada A1L 0A6



**PLOT PLAN**

Please indicate the proposed location of the new building in relation to the Lot Lines. Indicate the location of accessory buildings, fences, and extensions in relation to the existing building and the Lot Lines. Also indicate the distance between the accessory building and the existing building. Please indicate driveway location.

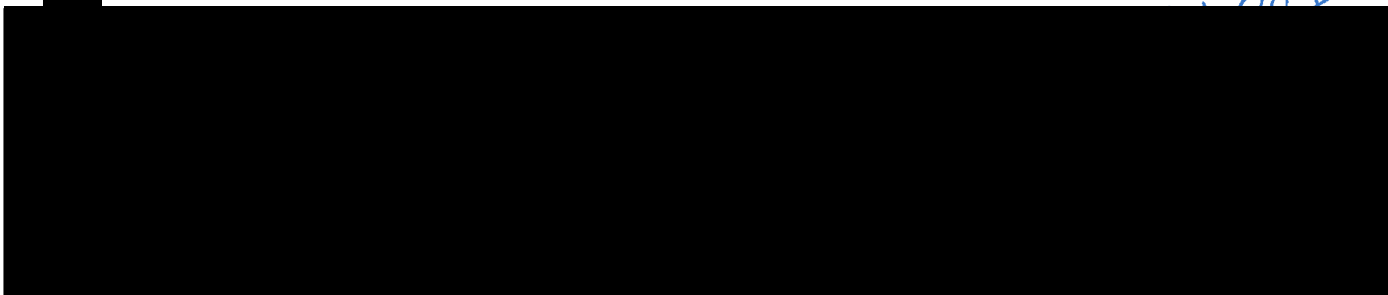


**Side Lot Line (      m/ft)**

**Side Lot Line (      m/ft)**

Street Name and Number: \_\_\_\_\_

Collection of personal information via this form is authorized under the Access to Information and Protection of Privacy Act, 2015 and is needed to process your application. Questions about the collection and use of the information may be directed to [planninggroup@paradise.ca](mailto:planninggroup@paradise.ca).



**TYPE OF PERMIT / PERMISSION**

Building (all structures):     Development Approval:     Approval in Principle:   
 Change/New Occupancy:     Repairs/Renovations:     Demolition:   
 Residential Subdivision:     # of proposed lots: \_\_\_\_\_    Fence:   
 Development Location: CORPORATE RD.    Construction Value: \_\_\_\_\_

ATIPP S40(1)

**DESCRIPTION OF LAND TO BE DEVELOPED**

Frontage: \_\_\_\_\_ (m/ft)    Depth: \_\_\_\_\_ (m/ft)    Area: \_\_\_\_\_ (m<sup>2</sup>/ft<sup>2</sup>)

As per Survey:

PLAN

**EXISTING LAND USES (check appropriate box(es) & specify)**

Residential:     Crown Land:     Unknown:   
 Commercial:     Vacant:     Other:

**DESCRIBE INTENDED USE**

*If Residential:*

Single Family Dwelling:     Single Family Dwelling w/ Apartment:     Extension to Dwelling:   
 Add Apartment to existing:     Accessory Bldg (shed/garage):     Other:

*If Commercial:*

Retail:     Industrial:     Extension to Building:     Office:   
 Restaurant:     New Tenant Up Fit:     Other:

**DESCRIBE BUILDING (if applicable)**

Dimension: \_\_\_ x \_\_\_ (m/ft)    Area: \_\_\_ (m<sup>2</sup>/ft<sup>2</sup>)    Height: \_\_\_ (m/ft)    Setback: \_\_\_ (m/ft)  
 Heating Type: \_\_\_\_\_    # Washrooms: \_\_\_\_\_    Attached Garage: Y/N  
 Propane/Oil Appliances: \_\_\_\_\_

**DESCRIBE RENOVATION, REPAIR, EXTENSION, ETC. (Additional Information):**

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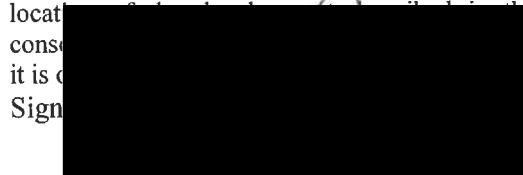
**PROPOSED MEANS OF SERVICING**

Municipal Sanitary Sewer:     Onsite Drilled Well:     Municipal Water:   
 Municipal Storm Sewer:     Onsite Septic Disposal System:   
 Weeping Tile to Dry Pit or Other:

**PROPOSED MEANS OF ACCESS**

Existing Access:     New Access (Culvert):     New Access (Subdivision):

I/We, INDEX INVESTMENTS INC, the applicant(s) named herein, do solemnly declare the statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, that the location and plot plan submitted correctly sets out the location of the property described in the said application. I/we make this solemn declaration, conscious of the full knowledge of the property owner, and knowing that it is a true and correct statement of the facts and circumstances.



Date: July 30 2012



GENERAL APPLICATION

Receipt No. \_\_\_\_\_



Contractor: \_\_\_\_\_ Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**TYPE OF PERMIT / PERMISSION**

Building (all structures):  Development Approval:  Approval in Principle:   
Change/New Occupancy:  Repairs/Renovations:  Demolition:   
Residential Subdivision:  # of proposed lots: 3 Fence:   
Development Location: Corcoran's Rd Construction Value: ± 100,000

**DESCRIPTION OF LAND TO BE DEVELOPED**

Frontage: \_\_\_\_\_ (m/ft) Depth: \_\_\_\_\_ (m/ft) Area: \_\_\_\_\_ (m<sup>2</sup>/ft<sup>2</sup>)  
As per Survey:

**EXISTING LAND USES (check appropriate box(es) & specify)**

Residential:  \_\_\_\_\_ Crown Land:  \_\_\_\_\_ Unknown:  \_\_\_\_\_  
Commercial:  \_\_\_\_\_ Vacant:  \_\_\_\_\_ Other:  \_\_\_\_\_

**DESCRIBE INTENDED USE**

*If Residential:*

Single Family Dwelling:  Single Family Dwelling w/ Apartment:  Extension to Dwelling:   
Add Apartment to existing:  Accessory Bldg (shed/garage):  Other:

*If Commercial:*

Retail:  Industrial:  Extension to Building:  Office:   
Restaurant:  New Tenant Up Fit:  Other:  \_\_\_\_\_

**DESCRIBE BUILDING (if applicable)**

Dimension: \_\_\_ x \_\_\_ (m/ft) Area: \_\_\_ (m<sup>2</sup>/ft<sup>2</sup>) Height: \_\_\_ (m/ft) Setback: \_\_\_ (m/ft)  
Heating Type: \_\_\_\_\_ # Washrooms: \_\_\_\_\_ Attached Garage: Y/N  
Propane/Oil Appliances: \_\_\_\_\_

**DESCRIBE RENOVATION, REPAIR, EXTENSION, ETC. (Additional Information):**

Extension of Road for Development of Residential Building Lots

**PROPOSED MEANS OF SERVICING**

Municipal Sanitary Sewer:  Onsite Drilled Well:  Municipal Water:   
Municipal Storm Sewer:  Onsite Septic Disposal System:   
Weeping Tile to Dry Pit or Other:  \_\_\_\_\_

**PROPOSED MEANS OF ACCESS**

\_\_\_\_\_ (Invert):  New Access (Subdivision):

Resident Applicant  
applicant(s) named herein, do solemnly declare the

statements herein contained in this application are true and made with a full knowledge of the circumstances connected with the same, that the location and plot plan submitted correctly sets out the location of the development described in the said application. I/we make this solemn declaration, together with the full knowledge of the property owner, and knowing that it is true, under oath.

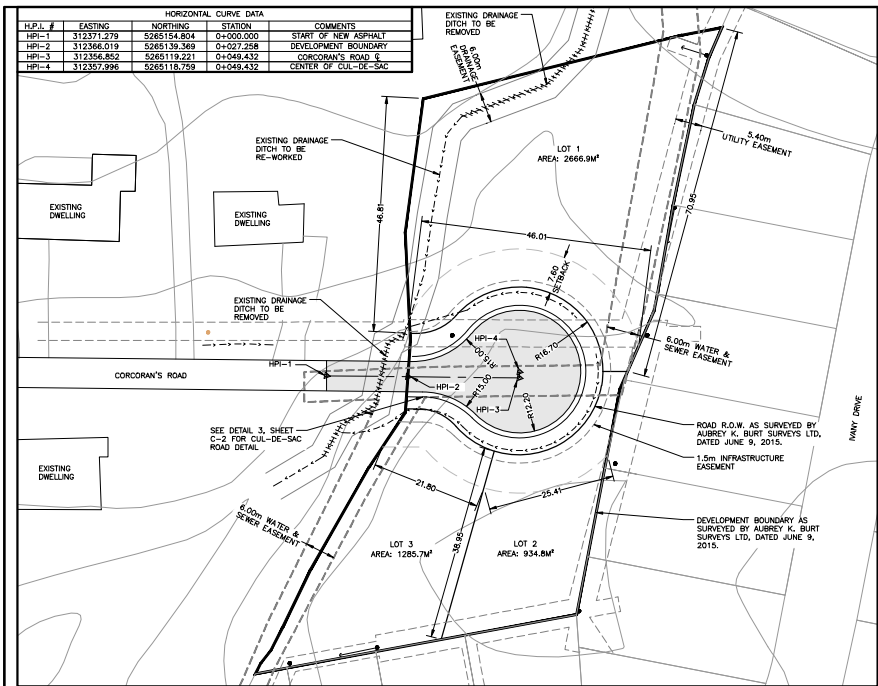
Signature: \_\_\_\_\_

Date: April 24, 2020

Town of Paradise, Newfoundland Labrador, Canada A1L 0A6

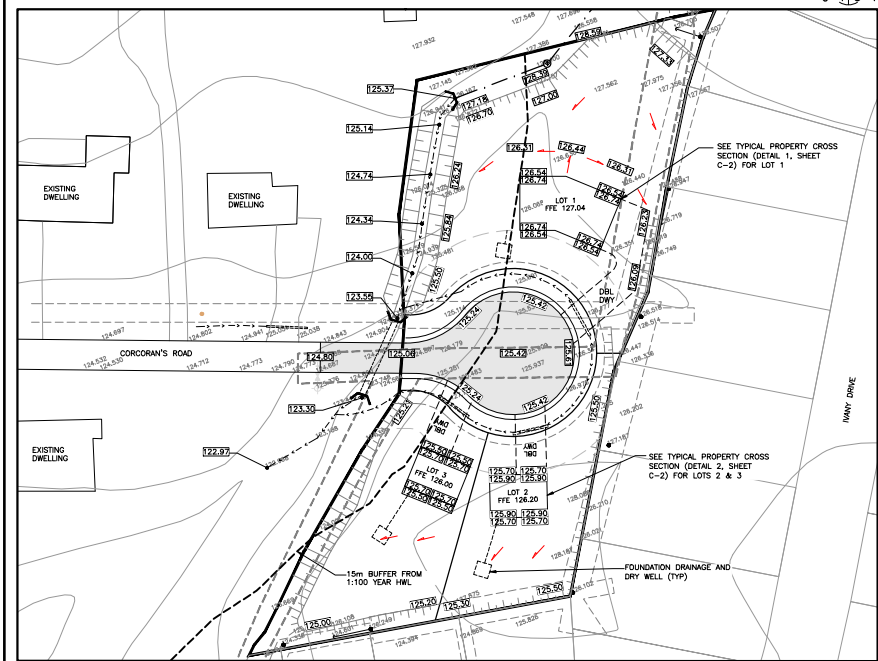
T: 709.782.1400 • F: 709.782-3603 • E: [info@townofparadise.ca](mailto:info@townofparadise.ca) • [www.townofparadise.ca](http://www.townofparadise.ca)

ATIPP S40(1)



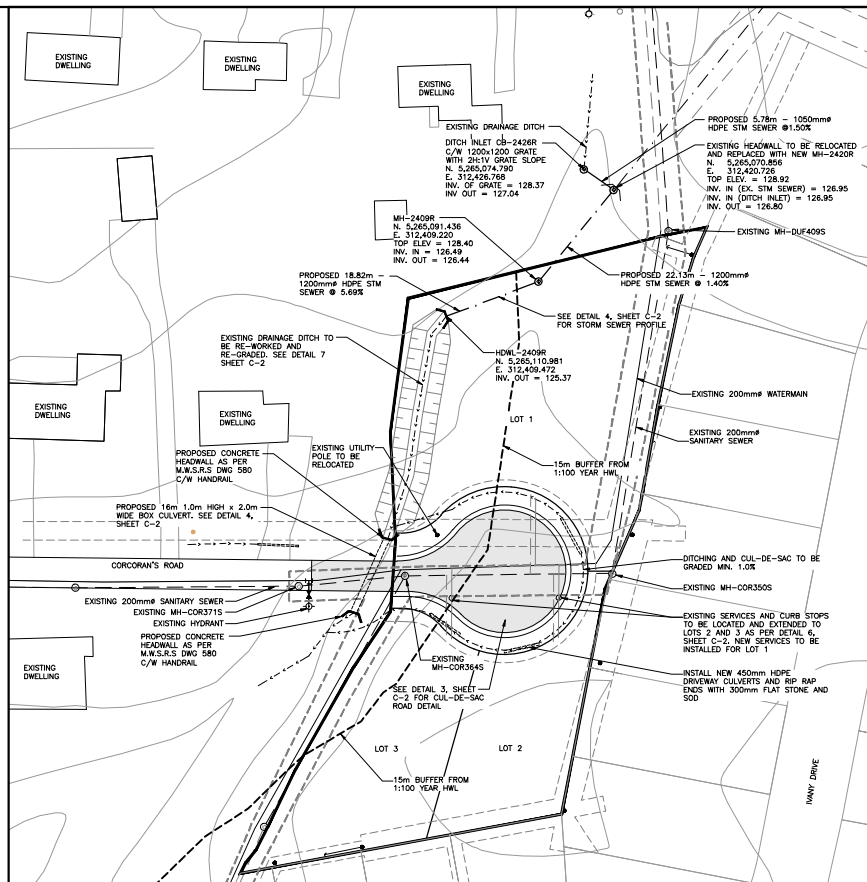
LOT DIMENSION PLAN & HPI DATA  
SCALE = 1:500

1  
C-1



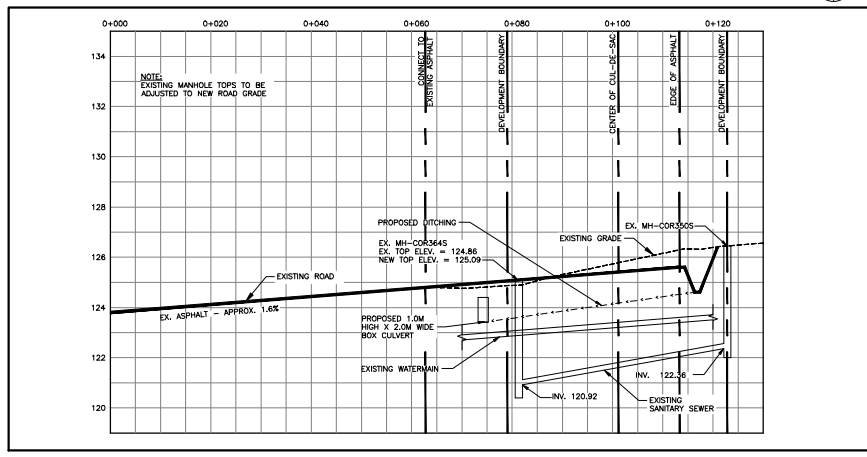
LOT GRADING PLAN  
SCALE = 1:500

3  
C-1



ROAD EXTENSION PLAN  
SCALE = 1:500

2  
C-1



CORCORAN'S ROAD PROFILE  
SCALE = 1:500 HORIZ. 1:100 VERT.

4  
C-1

NOTES

3.0	REVISED AND RE-ISSUED FOR REVIEW	KN 22/04/20
2.0	ISSUED FOR REVIEW	MS 08/04/20
1.0	ISSUED FOR CLIENT REVIEW	KN 22/03/16
NO.	DESCRIPTION	BY DD/MM/YY

PROVINCE OF NEWFOUNDLAND AND LABRADOR  
**Engineering**  
 PERMIT F0249  
**MAE DESIGN LIMITED**  
 MIRC NO: 02776  
 Signature or Member Number  
 (Member-Not-Responsible Charge)

STAMP

PRIME CONSULTANT  
  
 TEL: (709) 534-1554 FAX: (709) 534-1558

SUB-CONSULTANT  
 DRAWN BY: K. NORMAN MARCH 4, 2016  
 CHECKED BY:  
 APPROVED BY:  
 SCALE: AS NOTED

PROJECT  
**PROPOSED EXTENSION  
 CORCORAN'S ROAD**  
 TOWN OF PARADISE, NL

DRAWING TITLE  
**LOT DIMENSION PLAN,  
 GRADING PLAN AND PROFILE**

PROJECT No. 2012.106  
 DRAWING No. C-1  
 SHEET 1 OF 2

**APPROVED**

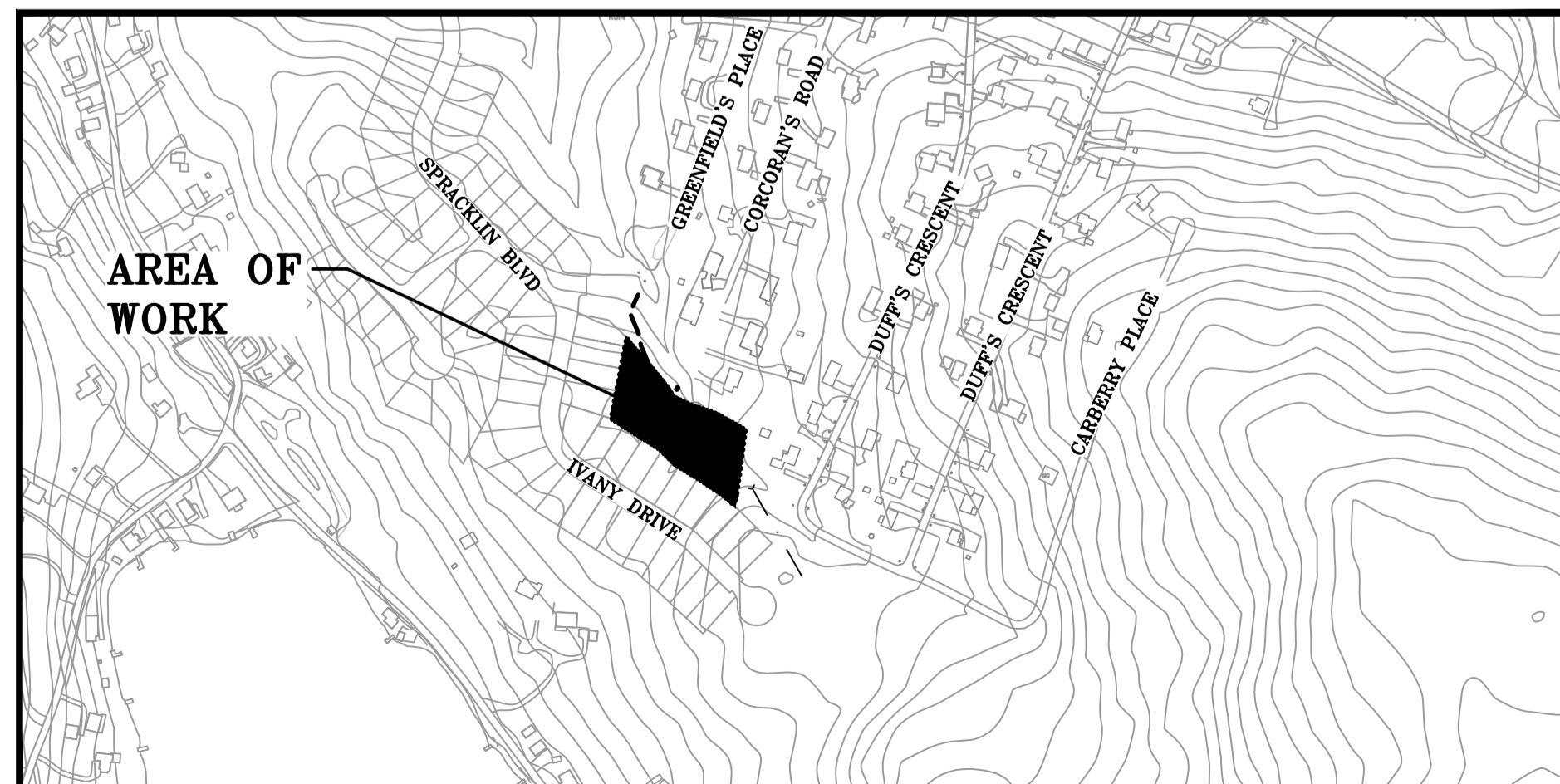
# PROPOSED EXTENSION CORCORAN'S ROAD PARADISE, NL

BY: INDEX INVESTMENTS INC.

**MAEDesignLimited**  
**CONSULTING ENGINEERS**

- 1.0 ISSUED FOR CLIENT REVIEW (MARCH 22, 2016)
- 2.0 ISSUED FOR REVIEW (APRIL 8, 2020)
- 3.0 REVISED AND RE-ISSUED FOR REVIEW (APRIL 22, 2020)

### LOCATION PLAN



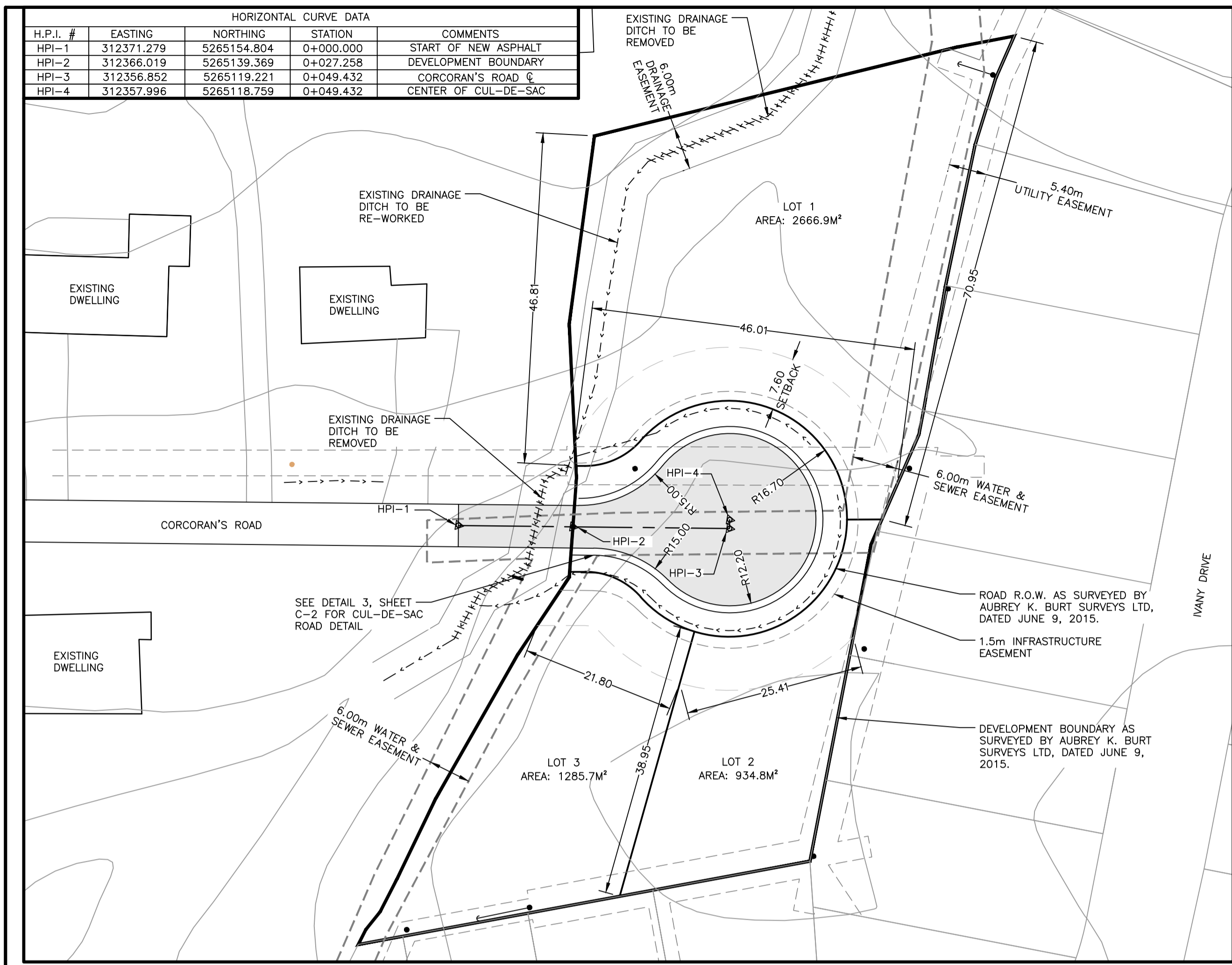
### LIST OF DRAWINGS

- C-1 LOT DIMENSION PLAN, GRADING PLAN & CORCORAN'S ROAD PROFILE
- C-2 TYPICAL PROPERTY SECTIONS, SITE SECTIONS, TYPICAL ROAD SECTIONS & DETAILS



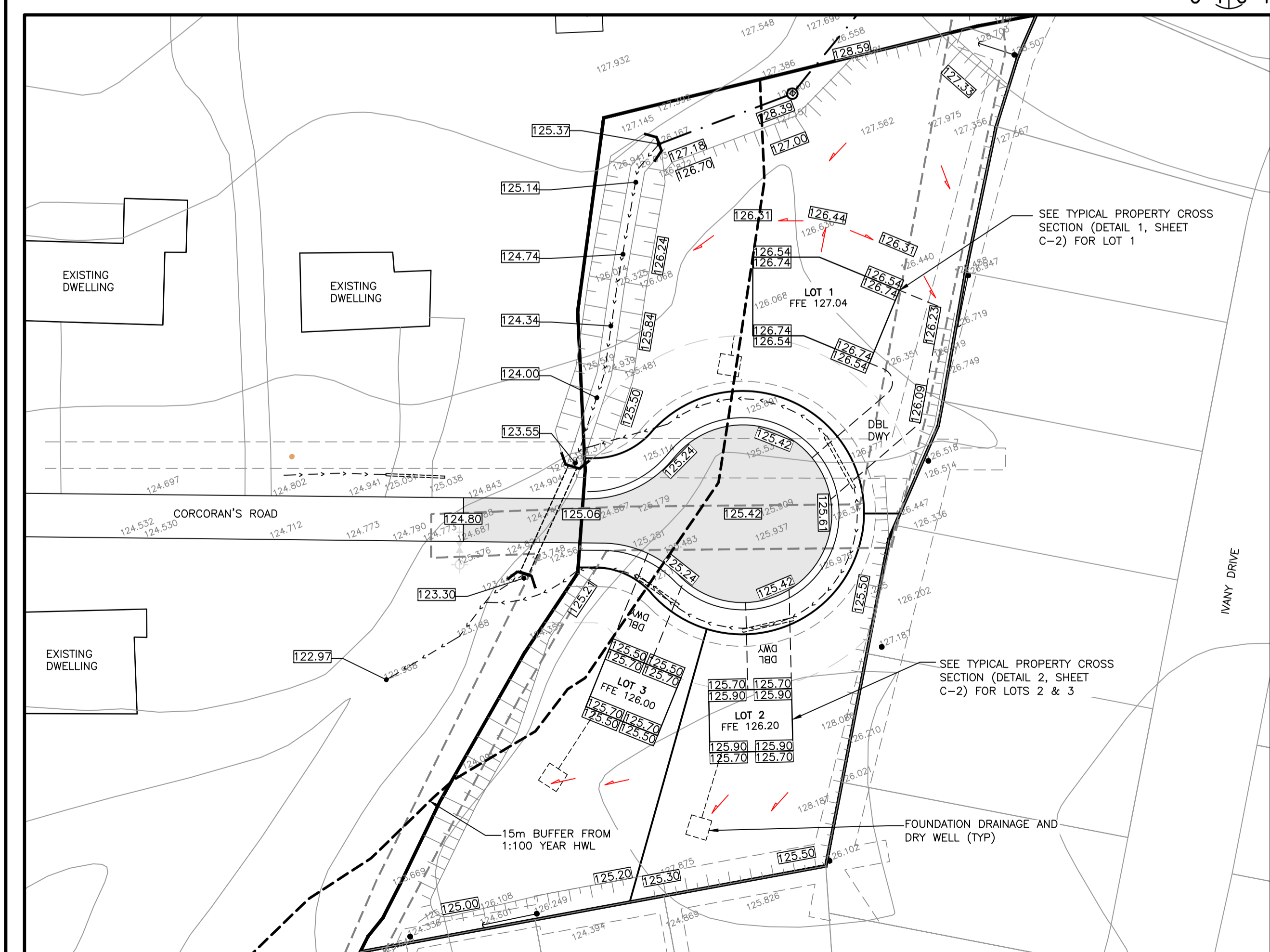
615 Conception Bay Highway, Second Floor  
P.O.Box 17162, Station Kelligrews  
Conception Bay South, NL, A1X 3H1  
TEL: (709) 834-1554 FAX: (709) 834-1558

MAE PROJECT No: 2012.106



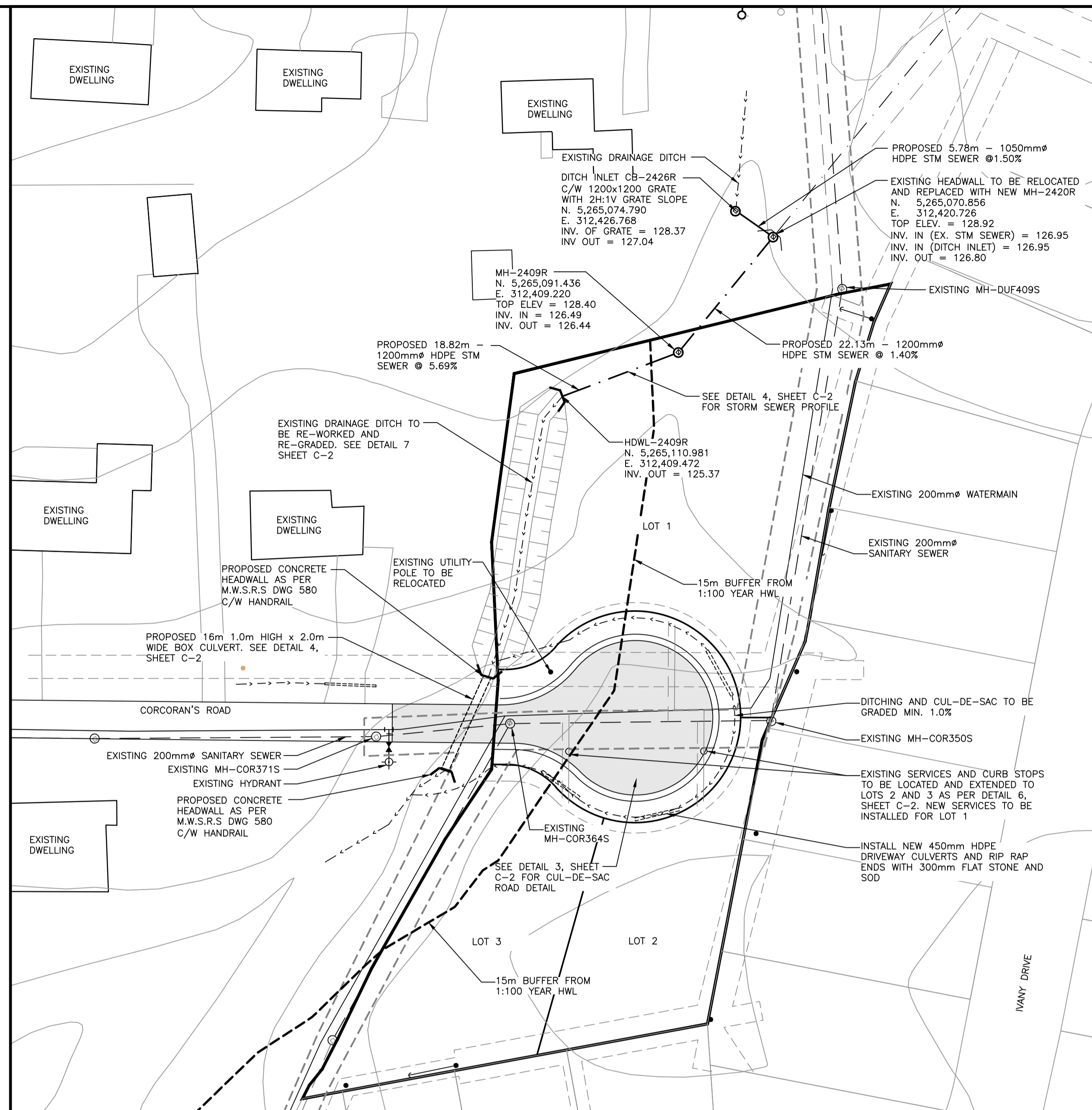
LOT DIMENSION PLAN & HPI DATA  
SCALE = 1:500

1  
C-1 | C-1



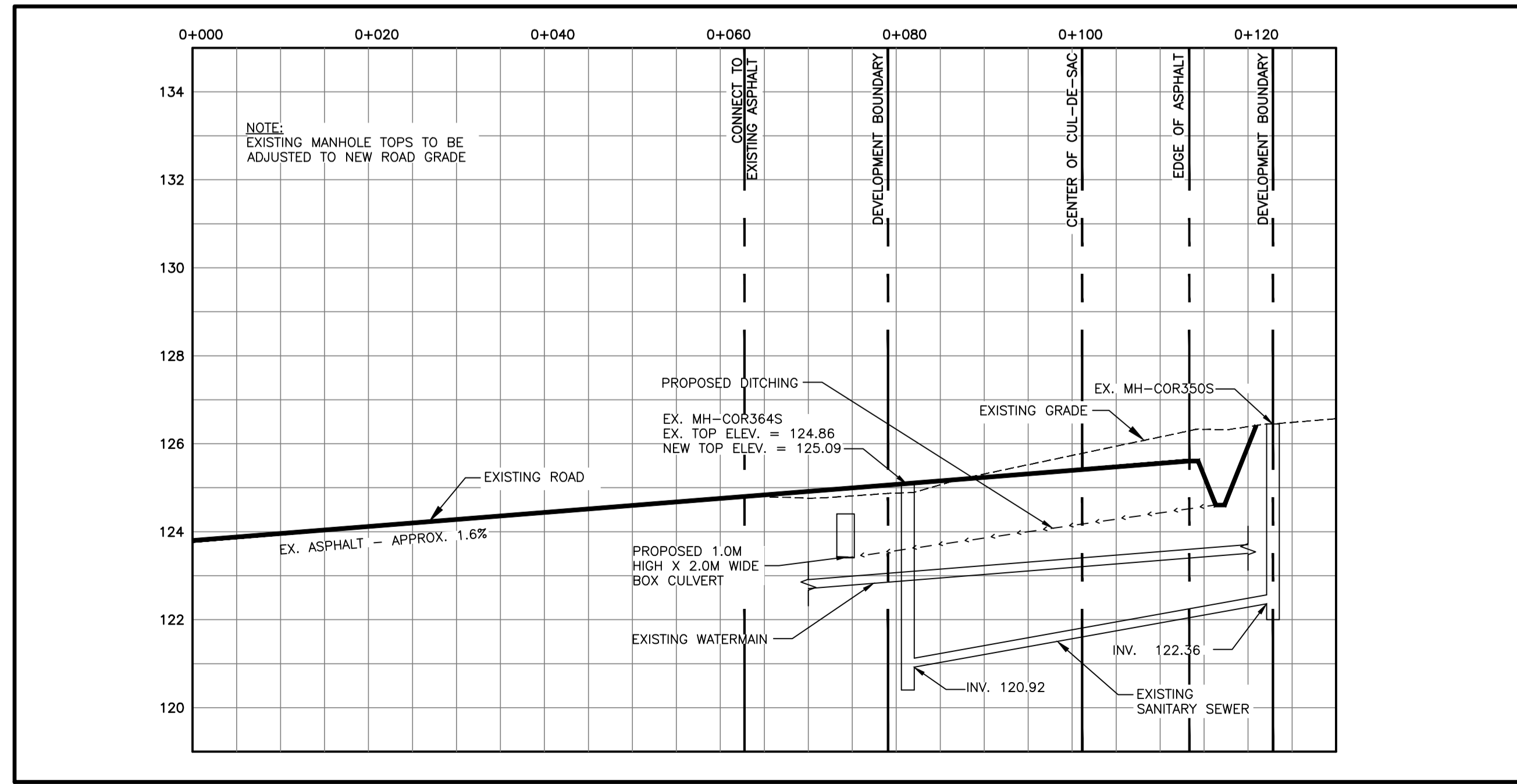
LOT GRADING PLAN  
SCALE = 1:500

3  
C-1 | C-1



ROAD EXTENSION PLAN  
SCALE = 1:500

2  
C-1 | C-1



CORCORAN'S ROAD PROFILE  
SCALE = 1:500 HORZ. 1:100 VERT.

4  
C-1 | C-1

NOTES

No.	DESCRIPTION	BY	DD/MM/YY
3.0	REVISED AND RE-ISSUED FOR REVIEW	KN	22/04/20
2.0	ISSUED FOR REVIEW	MS	08/04/20
1.0	ISSUED FOR CLIENT REVIEW	KN	22/03/16

REVISIONS

PROVINCE OF NEWFOUNDLAND AND LABRADOR  
**ENGINEERING PERMIT F0249**

**MAE DESIGN LIMITED**

MIRC NO: 02778  
Signature of Member Number (Member-In-Responsible Charge)

STAMP

PROFESSIONAL ENGINEER  
**ROBIN SUMMERS**  
SIGNATURE  
APR 22, 2020  
DATE

REGISTRY OF PROFESSIONAL ENGINEERS  
PROVINCE OF NEWFOUNDLAND

PRIME CONSULTANT

**MAE Design Limited**  
CONSULTING ENGINEERS

TEL (709) 834-1554 FAX (709) 834-1558

SUB-CONSULTANT

DRAWN BY: K. NORMAN MARCH 4, 2016

CHECKED BY:

APPROVED BY:

SCALE: AS NOTED

**A B C** DETAIL NO. WHERE DETAIL REQUIRED DRAWING NO. WHERE DETAILED

PROJECT

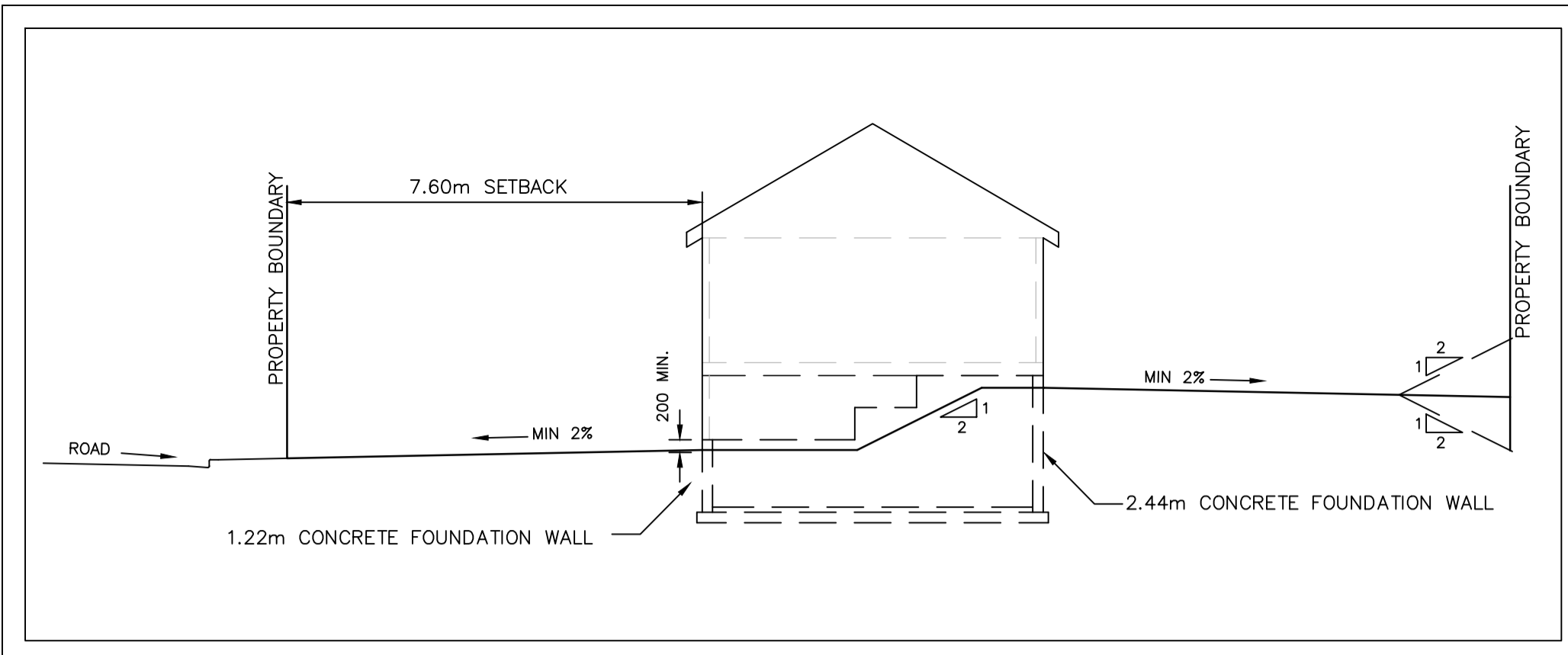
**PROPOSED EXTENSION CORCORAN'S ROAD**

TOWN OF PARADISE, NL

DRAWING TITLE

**LOT DIMENSION PLAN, GRADING PLAN AND PROFILE**

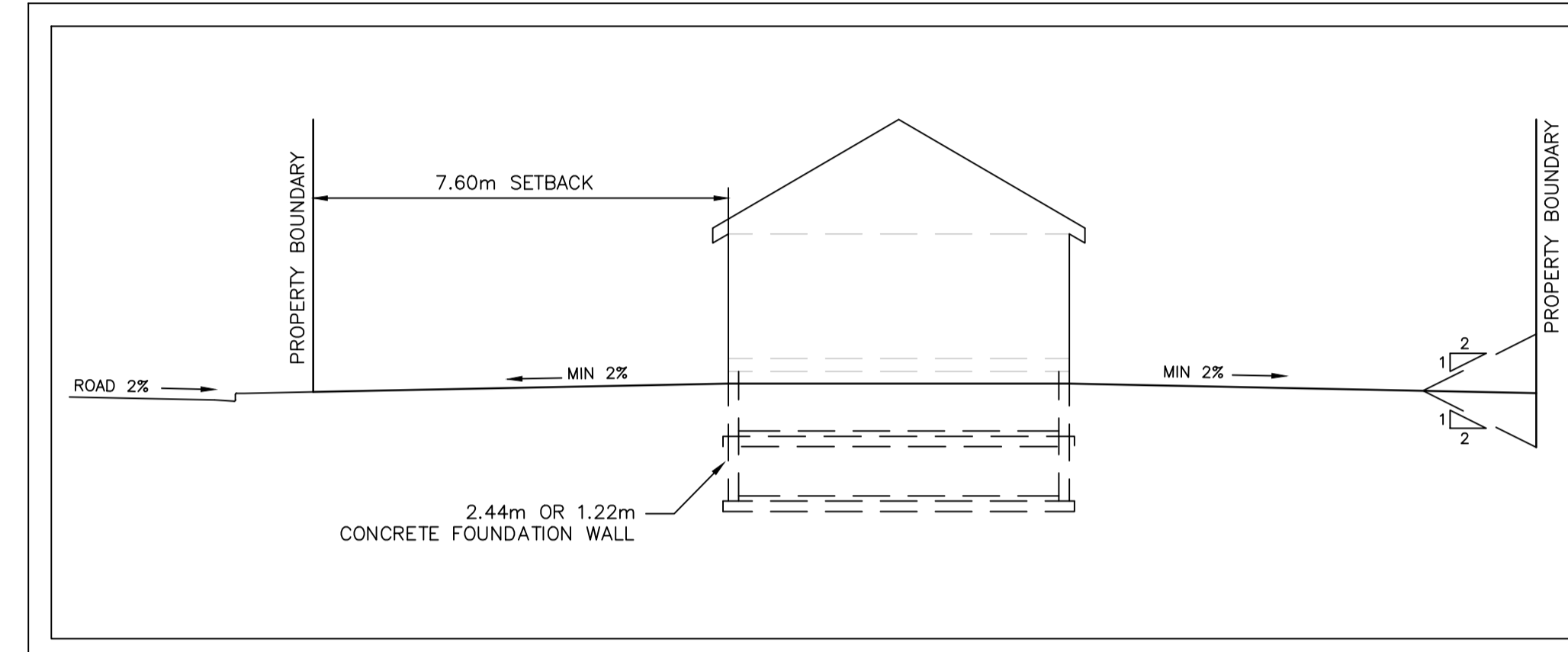
PROJECT No. 2012.106 DRAWING No. C-1 SHEET 1 OF 2



TYPICAL PROPERTY CROSS SECTION (LOT 1)

SCALE = NTS

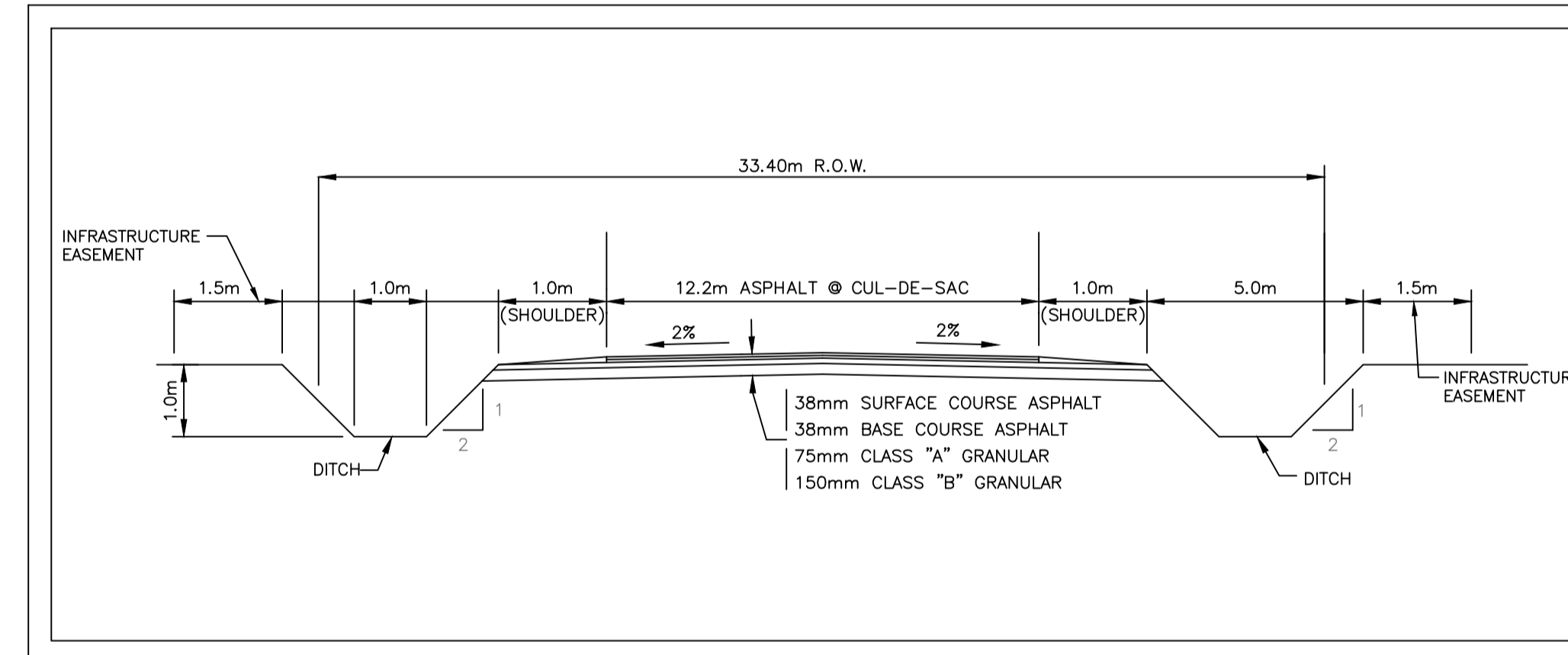
1  
C-1 | C-2



TYPICAL PROPERTY CROSS SECTION (LOTS 2 & 3)

SCALE = NTS

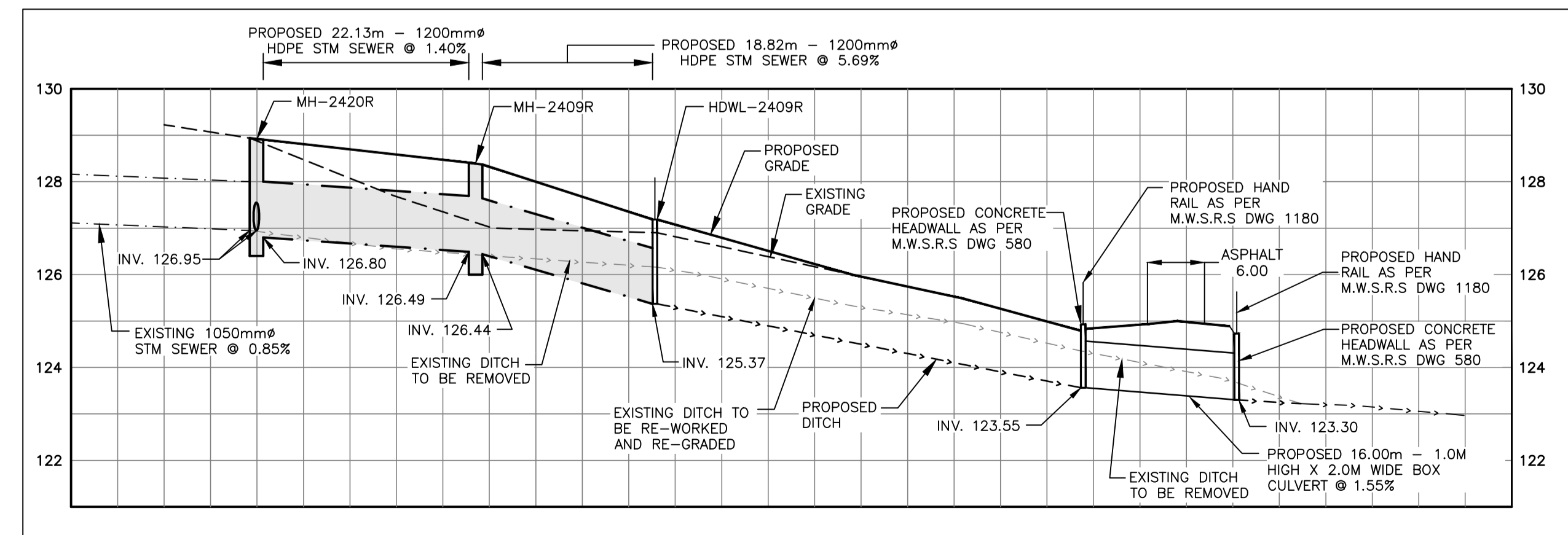
2  
C-1 | C-2



TYPICAL ROAD SECTION

SCALE = NTS

3  
C-1 | C-2



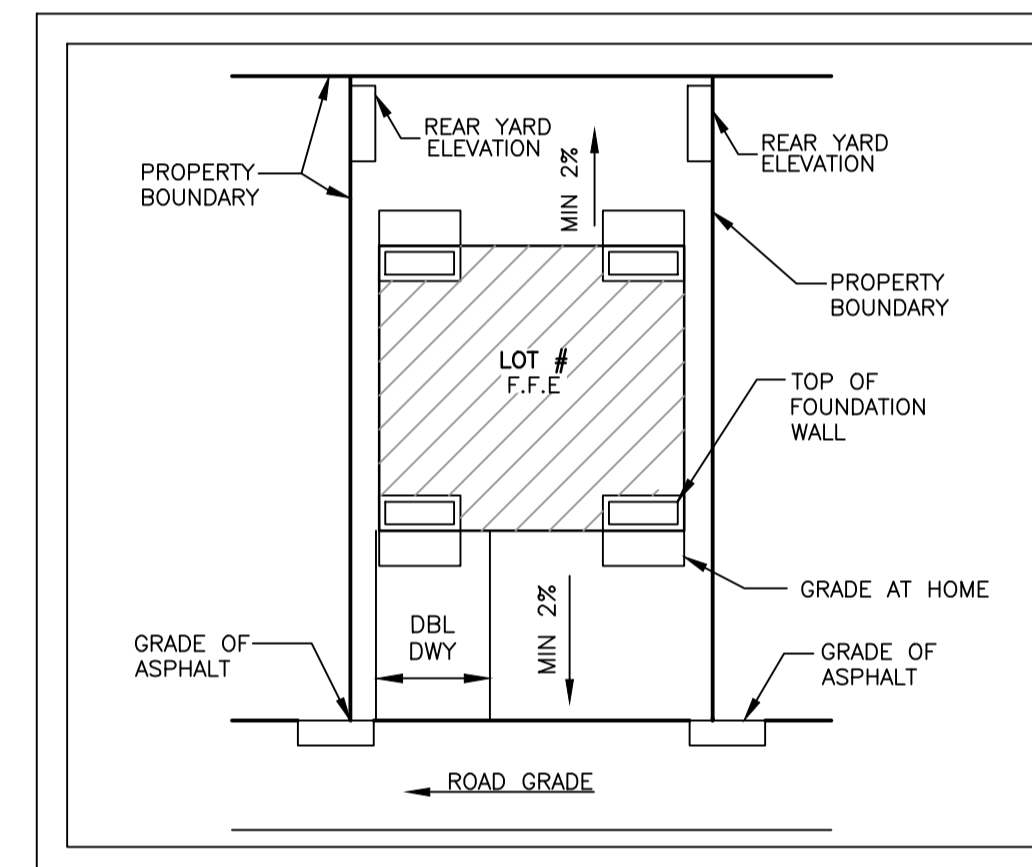
STORM SEWER PROFILE

SCALE = 1:500 HOR, 1:100 VERT.

4  
C-2 | C-2

**GENERAL NOTES:**

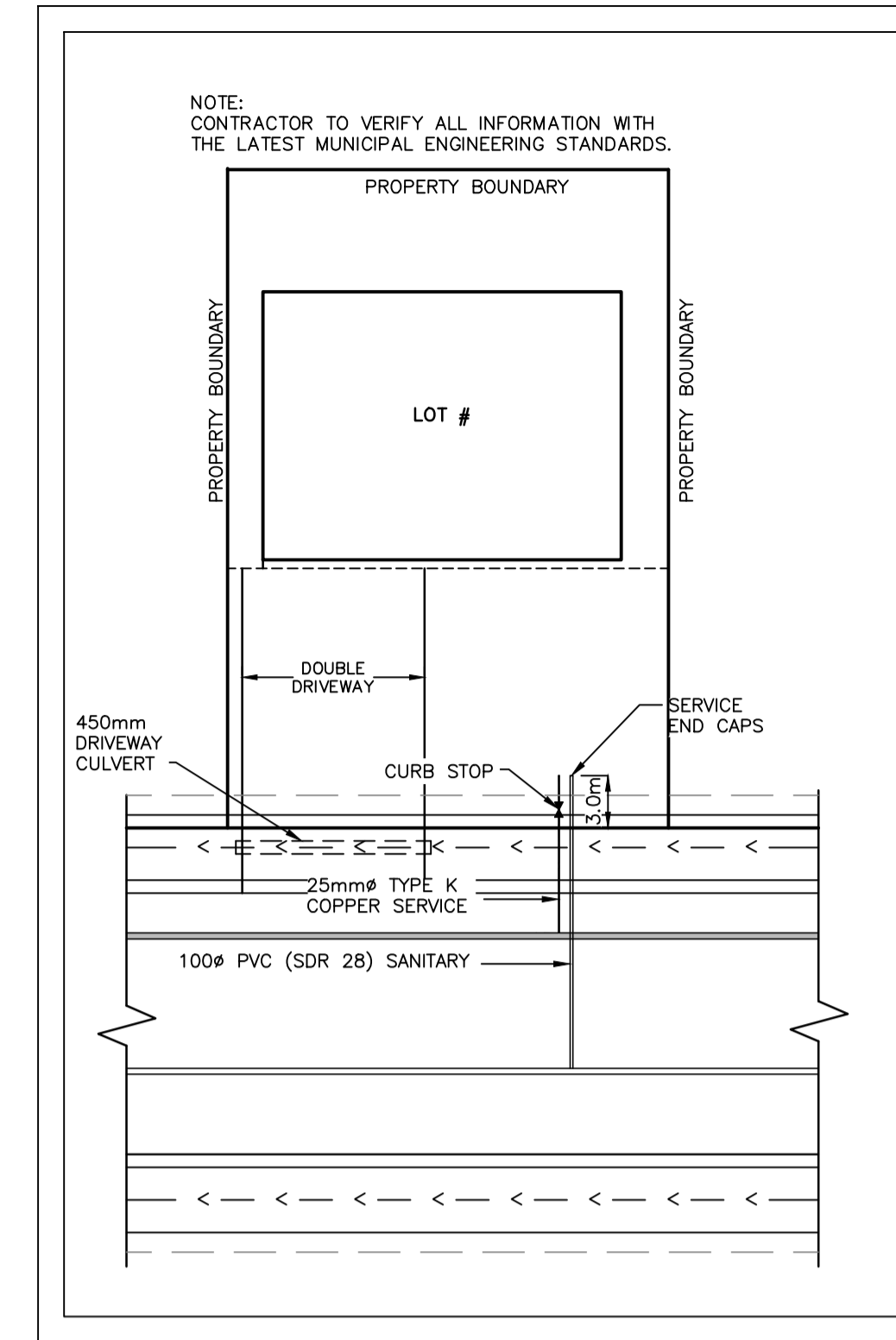
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. ALL DISCREPANCIES AND UNSATISFACTORY CONDITIONS TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE FROM DRAWING.
- DIMENSIONS GIVEN IN METERS UNLESS OTHERWISE NOTED. ELEVATIONS GIVEN IN METERS AND DERIVED FROM GEODETIC DATUM.
- ALL WORK SHALL CONFORM TO THE TOWN OF PARADISE MUNICIPAL ENGINEERING REGULATIONS AND THE MUNICIPAL WATER, SEWER AND ROADS SPECIFICATIONS (M.W.S.R.S.).
- WHERE THE HORIZONTAL SEPARATION BETWEEN WATERMANS (INCLUDING HYDRANT LEADS AND DRAINS) AND SEWERS IS LESS THAN 3.0 METERS, THE WATERMAIN SHALL BE LAID IN A SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AND AT SUCH AN ELEVATION THAT THE INVERT OF THE WATERMAIN SHALL BE A MINIMUM OF 450 MM ABOVE THE CROWN OF THE SEWER AND 300 MM HORIZONTALLY FROM THE SEWER MEASURED EDGE TO EDGE.
- WHERE THE VERTICAL SEPARATION BETWEEN THE CROSSING OF A WATERMAIN AND SEWER IS LESS THAN 450 MM, A HORIZONTAL SEPARATION OF 3.0 METERS MUST BE MAINTAINED.
- \*WATERMANS (INCLUDING HYDRANT LEADS) CROSSING SEWERS SHOULD BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 450 MM BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER. THIS SHOULD BE THE CASE WHERE THE WATERMAIN IS EITHER ABOVE OR BELOW THE SEWER WITH PREFERENCE TO THE WATERMAIN LOCATED ABOVE THE SEWER. AT CROSSINGS, ABOVE OR BELOW, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND/OR SEWER PIPES MAY BE REQUIRED.
- LAST 18 METRES OF WATERMAIN TO BE MECHANICALLY RESTRAINED AT WATERMAIN JOINTS.
- SUB-GRADE IS TO BE PROOF ROLLED PRIOR TO PLACEMENT OF GRANULAR, ALL SOFT SPOTS EXCAVATED AND BACK FILLED WITH ROCK BORROW AND COMPACTED.
- IN ALL FILL AREAS, MATERIALS USED SHALL HAVE LESS THAN 10% PASSING #200 SIEVE AND HAVE A NON-FROST SUSCEPTIBLE CLASSIFICATION. ANY FROST SUSCEPTIBLE MATERIAL WITHIN 1.2 METERS OF THE FINISHED ASPHALT SURFACE SHALL BE REMOVED AND REPLACED WITH NON-FROST SUSCEPTIBLE MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR ENGAGING A GEOTECHNICAL ENGINEERING FIRM TO COMPLETE ALL SUBGRADE, GRANULAR AND ASPHALT COMPACTION TESTING, CONCRETE TESTING FOR CURBS AND SIDEWALK AND PREPARING REPORTS THAT ALL GRANULAR, ASPHALT, CONCRETE AND FILL MATERIAL MEETS SPECIFICATION.
- CONTRACTOR TO REMOVE ALL TOPSOIL FROM DEVELOPMENT AREA AND STOCK PILE ON DEVELOPERS PROPERTY IN A LOCATION DESIGNATED BY THE DEVELOPER.



TYPICAL GRADING PLAN

SCALE = NTS

5  
C-1 | C-2



TYPICAL HOUSE SERVICE PLAN

SCALE = NTS

6  
C-1 | C-2

**NOTES**

3.0	REVISED AND RE-ISSUED FOR REVIEW	KN	22/04/20
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No.	DESCRIPTION	BY	DD/MM/YY

REVISIONS

PROVINCE OF NEWFOUNDLAND AND LABRADOR  
**ENGINEERING PERMIT F0249**  
**MAE DESIGN LIMITED**  
 MIRC NO: 02778  
 Signature or Member Number (Member-In-Responsible Charge)

STAMP

REGISTERED PROFESSIONAL ENGINEER  
**ROBIN SUMMERS**  
 SIGNATURE  
 APR 22, 2020  
 DATE  
 PROVINCE OF NEWFOUNDLAND

PRIME CONSULTANT

**MAE Design Limited**  
 CONSULTING ENGINEERS

TEL (709) 834-1554 FAX (709) 834-1558

SUB-CONSULTANT

DRAWN BY: K. NORMAN MARCH 4, 2016

CHECKED BY:

APPROVED BY:

SCALE: AS NOTED

A B C  
 DETAIL NO. WHERE DETAIL REQUIRED  
 DRAWING NO. WHERE DETAILED

PROJECT

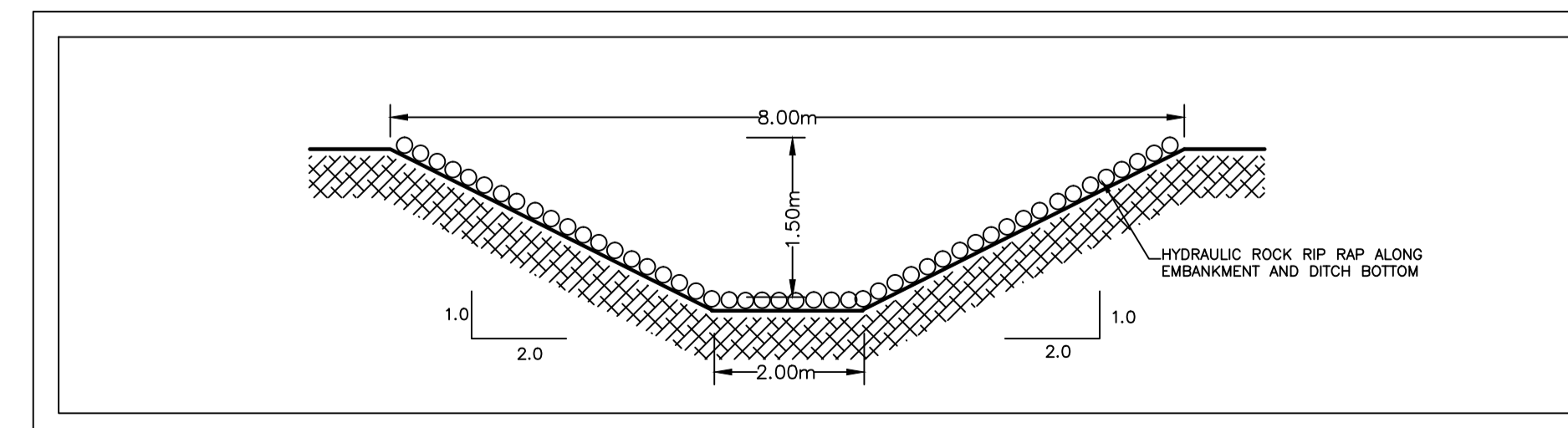
**PROPOSED EXTENSION CORCORAN'S ROAD**

TOWN OF PARADISE, NL

DRAWING TITLE

**TYPICAL PROPERTY SECTIONS, SITE SECTIONS, TYPICAL ROAD SECTIONS AND DETAILS**

PROJECT No. 2012.106 DRAWING No. C-2  
 SHEET 2 OF 2



RE-WORKED DITCH DETAIL

SCALE = NTS

7  
C-1 | C-2

**THIS AGREEMENT** made at Paradise in the Province of Newfoundland, Canada, this  
30<sup>th</sup> day of *MARCH*, Anno Domini, Two Thousand and Ten. *Eleven*

**BETWEEN:**

**INDEX INVESTMENTS INC.**, a body corporate,  
duly incorporated under the laws of the Province  
of Newfoundland,

(hereinafter called "the Developer")

OF THE ONE PART

**AND:**

**TOWN OF PARADISE**, a statutory corporation,  
duly incorporated under the laws of the Province  
of Newfoundland,

(hereinafter called "the Town")

OF THE OTHER PART

**WHEREAS** the Developer intends to subdivide certain lands within the Town's jurisdiction in accordance with the **Paradise Development Regulations**, 2004, as amended (hereinafter called the "Subdivision Regulations" or the "Regulations") and in accordance with plans and specifications prepared by MAE Design Ltd. and the Subdivision Plan for **Topsail Terrace Phase 2** annexed hereto as Schedule "A" and forming part of this Agreement and intends to develop such lands pursuant to the Subdivision Plan.

**AND WHEREAS** the Developer, as a condition of final acceptance of the Subdivision Plan for the lands, is required to provide certain **Public Services and Works** to the said land as hereinafter defined;

**AND WHEREAS** the Town requires from the Developer a written agreement providing for the installation of **Public Services and Works** and the observance of certain conditions with respect to the development of the said lands;

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that for and in consideration of the promises and mutual covenants herein contained, the parties hereto agree as follows:

## DEVELOPER'S COVENANTS

The Developer covenants and agrees with the Town as follows:

1. To subdivide and develop lands whose external boundaries are shown outlined in red on the Property Plan of the Development (the "Development") hereto annexed as Schedule "B" and forming part of this Agreement.
2. That within a period of two (2) years from the date of execution of this Agreement or such earlier date as may be mutually agreed upon, the Developer agrees to construct, at the Developer's expense, the following **Public Services and Works** (hereinafter referred to as **Public Services & Works**) in accordance with the plans and specifications approved by the Town for the Development;
  - (a) streets and roads, such streets and roads to be graded, gravelled, curbed, paved and complete in all respects.
  - (b) walkways and easements.
  - (c) water mains, hydrants and ancillary works.
  - (d) sanitary sewers, manholes and ancillary works.
  - (e) storm sewers, manholes, catch basins and ancillary works.
  - (f) storm water facilities required to permit development of the property.
  - (g) drainage works outside the Development boundary required to make the property suitable for development purposes.
  - (h) sanitary sewer, storm sewer and water service connections from the street mains to the street line fronting each lot.
  - (i) street lighting.

That within a period of one (1) year from the date of execution of this Agreement or at such time as eighty (80) percent of the dwellings in the development are constructed, the Developer agrees to construct, at the Developer's expense, the following **Public Services and Works** (hereinafter referred to as **Public Services & Works**) in accordance with the plans and specifications approved by the Town for the Development;

- (a) sidewalks

That prior to any Occupancy Permits being granted for the dwellings in the development, the Developer agrees to construct, at the Developer's expense, the following **Public Services and Works** (hereinafter referred to as **Public Services & Works**) in accordance with the plans and specifications approved by the Town for the Development;

- (a) stop signs
  - (b) street signs
- 3.
  - (a) That the engineering design and full supervision of the **Public Services and Works** provided for in Clause 2 will be carried out by a professional engineer experienced in the work and retained and paid by the Developer until final acceptance of the Development by the Town.
  - (b) The Town reserves the right to inspect any of the **Public Services and Works** provided for in Clause 2 during construction. Notwithstanding, it is the responsibility of the Developer to repair any defects in the works and services constructed, pursuant to Clause 31 of this Agreement.
- 4.
  - (a) To pay to the Town in full, upon signing the Agreement, the sum of \$225.00 to cover legal costs associated with the preparation of this agreement.
  - (b) To pay to the Town in full, of all engineering, surveying, planning and legal fees (in excess of those in (a) above) incurred by the Town to implement the approved Subdivision Plan. The Town will supply all invoices and supporting documentation at the request of the developer.
- 5. That the Developer shall carry out the works in strict accordance with the contract drawings and specifications approved by the Town and hereto annexed as Schedule "A" including all approved revisions in the drawings and approved addenda to the specifications and in accordance also with all applicable provisions of the Development Regulations and Town of Paradise Subdivision

Standards. No deviations shall be made from the contract drawings and specifications except with the prior written approval of the Town.

6. That the Developer shall, at no cost to the Town, make any/all arrangements necessary with Canada Post to accommodate mail delivery and delivery boxes within the District. Any expenses associated with changes of civic numbering necessitated by this development will be borne by the developer. Please note the following regarding mail delivery:
  - The developer is required to identify and provide land for the placement of postal service boxes.
  - The developer must circulate development plans to the Canada Post Mail Delivery Planner for input on Community Mailbox site locations.
  - Final determination of Community Mailbox site locations is at the approval of the Town of Paradise.
  - The developer shall provide wheelchair accessible curbs in front of Community mailboxes.
  - Community Mailboxes shall be located a minimum of 9 metres from intersection corners. Community mailboxes shall not be installed at major intersections.
  - Where a Community Mailbox is to be located on privately held land, the developer must provide Canada Post with an easement over, or license to occupy the land.
  - The Town of Paradise reserves the right to require the developer to provide landscaping as necessary to improve the Community Mailbox area.
  - All new Community Mailboxes shall be mounted on a steel support structure. Community Mailboxes on plastic bases shall not be approved.
7. That the Developer, at the Developer's expense, convey to the Town, free from encumbrances, the parcel or parcels of open space land illustrated in the approved open space plan for this project – (attached as Schedule "C") which land is to be dedicated for open space or other public use.
8. The Developer covenants and agrees to pay to the Town the sum of Five Hundred Dollars (\$500.00) per lot in respect of an open space outfitting fee. Such fee is to be used by the Town for general amenities or facilities in the area, including but not limited to: street tree planting and outfitting of park lands. For

the purpose of this Clause, the parties hereto agree that there are twenty (20) lots in the Development. This amount is due upon signature of this Development Agreement.

9. That the Developer understands and agrees that a permit to develop does not constitute a permit to erect houses or other structures but that such permits must be issued independently by the Town in accordance with the Development Regulations.
10. That all buildings to be erected in the subdivision shall conform to any grading control plan approved by the engineer or consultant of the Town before building operations are commenced. The correction of any localized drainage problems caused by the development will be the responsibility of the developer.
11. To include in the Deed of Conveyance of each lot a covenant requiring the purchaser to:
  - (a) complete the front landscaping of the lot within twelve (12) months after the date of occupancy of the dwelling constructed upon such lot; such landscaping to include the planting of two trees in the front yard.
  - (b) to complete rear landscaping within twenty four (24) months of the date of occupancy;
  - (c) not construct any structure or building on the property without a permit issued by the Town;
  - (d) to complete paving of driveways within twelve (12) months;
  - (e) or such other agreements that may be acceptable to the Town.
12. To provide the necessary surveys and establish building lines and foundation elevation required by the building contractor to ensure that structures are properly located in accordance with buildings permits. Certification that structures are properly located, by a Registered Newfoundland Land Surveyor, shall be required and deposited with the Town before the foundation walls are

constructed.

13. Not permit more than two (2) adjacent houses containing identical floor plans to be constructed within the development. The Town may permit identical adjacent houses, however, if each house shall be built with a different architectural treatment of the facade.

14 To provide the Town with proof of a damage deposit (the "Damage Deposit") in the amount of \$500.00 per lot upon the signing of an Agreement of Purchase and Sale of each lot in the subdivision which does not have the foundation backfilled and the building serviced with water and sewer at the time that sidewalks or curbs and gutters are installed along the frontage abutting the lot. The Damage Deposits for each lot shall be held in separate bank accounts established by the Developer and will not be released to the owner of the lot without the written authorization of the Town.

The Town will authorize the said release of the Damage Deposit upon satisfactory proof that the foundation on each lot has been backfilled and the building has been serviced with water and sewer; provided, however, there are no outstanding damages to any of the **Public Services and Works** abutting the lot. The Developer agrees to pay for the cost of repairs of such damage (if any) and deduct same from the Damage Deposit.

15 To register with the Registry of Deeds a valid survey plan of the Subdivision Plan, complete with easements, prior to sale or dwelling construction on any lots within the Development.

16 That all surface drainage problems attributed to the development, which appear prior to acceptance of the Development, shall be corrected by the Developer at its expense within a reasonable time after such problems become apparent.

- 17 Notwithstanding the approval of the Subdivision Plan, the Town may designate particular areas to be landscaped where the topography, soil conditions and drainage warrant or where construction by the Developer has destroyed natural vegetation either within or outside the boundaries of the Development.
- 18 To ensure that any blasting required will be done in accordance with the blasting regulations of the Province of Newfoundland. Before any blasting occurs, the Town shall be notified and proof of blasting insurance satisfactory to the Town shall be provided.
- 19 The Developer shall make provisions for the accommodation and protection of traffic and pedestrians and the owners and occupiers of adjacent premises in the form of bridge ways, guards and fences. Should the Developer have to divert traffic during the construction period as hereinafter defined, over channelling, curbs, causeways or sideways, it must protect same from damage and any such damage must be made good.
20. To protect persons from injury and to avoid property damage, the Developer agrees to ensure the provision of adequate barricades, construction signs, red lanterns and guards as required during the progress of construction work. All materials, piles, equipment and pipe which may serve as obstructions to traffic shall be enclosed by fences or barricades and shall be protected by proper lights, notices, signs and warnings.
21. To be responsible for the safety of the work as it applies to the protection of the public and property and the construction of the work. Without limiting the generality of the foregoing, the Developer shall ensure that all construction is in compliance with the following codes and regulations:
  - (a) **The National Building Code;**

- (b) **The Workers' Compensation Board Accident Prevention Regulations**  
(as amended); and
- (c) **Canadian Code for Construction Safety** as issued by the Associate  
Committee of **The National Building Code**, (as amended).

22. Not to divert the flow of storm water runoff from its original watercourse from any location into or within the boundaries of the Town unless prior approval has been granted by the Town. Any claim or claims for damage resulting from diversion of storm water runoff from its original watercourse shall be the responsibility of the Developer.

23. With respect to ongoing road and construction conditions, the Developer agrees as follows:

- a) to maintain all roads within the subdivision in reasonable driving condition as determined by the Town, during the Construction Period and shall perform all grading, oiling, snow removal and sanding as required and repair water/sewer and drainage works during the Construction Period. The Construction Period is hereby agreed to encompass that period of time from the initial start of development to the date of a written notice from the Town of substantial completion stating that the roads now meet Town standards and that the Town is prepared to accept ownership thereof and maintenance responsibility thereof;
- b) the Developer shall make its best efforts to control dust, dirt and refuse in the Development Area during the Construction Period so that dust, dirt and refuse originating therein shall not become a nuisance to adjoining property owners and others in the vicinity of the Development. In the event that the Developer fails to comply with this requirement, the Town shall be at liberty to take whatever measures the town deems necessary to abate any annoyance or nuisance caused to adjoining property owners

and others in the vicinity of the Development caused by such dirt, dust and refuse and further shall be at liberty to charge the cost to the Developer. The Town shall notify the Developer of the dust problems and if the Town is not able to contact the Developer, or if the Developer shall fail to take its best efforts to control the dust from the Development after being notified, then the Town shall take such steps as are necessary and notify the Developer in writing of the action taken by the town, to rectify the dirt, dust or refuse problem.

24. That all refuse and debris arising from construction in the subdivision will be removed from the site prior to a Certificate of Substantial Completion being issued by the Town. The Developer will ensure that all excavation carried out by individual building contractors shall be similarly removed and shall not at any stage of construction be pushed onto the street right-of-way or onto any adjacent properties. The Developer further agrees to protect the natural ecology and to avoid all unnecessary damage to or destruction of trees or other natural features.
25. To indemnify and save harmless the Town and its agents up to the issue of certificates of total completion from all manner of claims or actions by third parties arising out of the work performed hereunder except that caused by the negligence of the Town, and shall file with the Town prior to commencement of the work hereunder standard policies of comprehensive liability insurance for a minimum limit of one million dollars (\$1,000,000.00) per occurrence together with proof of compliance with provincial Workplace, Health, Safety and Compensation Legislation.
26. The Developer covenants and agrees with the Town that in contracting for the construction of the services and works provided for in this Agreement, the Developer will provide that all contractors have public liability and property damage insurance for a minimum limit of one million dollars (\$1,000,000.00) per occurrence and written to protect the Developer, Contractor, Town and its agents jointly against loss, damage or injury to persons or property caused by

construction and maintenance as provided for herein, and to provide to the Town true copies of all such insurance policies prior to such contractors commencing work.

27. To furnish the Town of such amounts and on such conditions acceptable to the Town the following:

Sureties of completion based on a total amount of \$ **\$578,684.58** which is comprised of the following: (“the total amount”) such amount being determined by the town as sufficient to cover the provisions of all works required and all costs and agreements undertaken by the Developer in this agreement as follows:

- (a) An irrevocable Letter of Credit or other security acceptable to the Town, in the amount of 20% of the Phase 1 works as identified in an engineering cost estimate approved by the Town; which Letter of Credit is to remain in full force and effect from the date of execution of this Agreement until the date of the issue of the **Certificate of Substantial Completion** by the Town. All Letters of Credit for this purpose shall contain a clause that automatically extends the term of the Letter of Credit for a period of one year from the present or any future expiration date.

Upon issuing the **Certificate of Substantial Completion**, the Town shall return the security to the Developer.

- (b) An irrevocable Letter of Credit or other security acceptable to the Town, in the amount of 100% of the Phase 2 works, as identified in an engineering cost estimate approved by the Town; which Letter of Credit is to remain in full force and effect from the date of execution of this Agreement and returned to the Developer upon issue of the **Certificate of Total Completion** by the Town. All Letters of Credit for this purpose shall

contain a clause that automatically extends the term of the Letter of Credit for a period of one year from the present or any future expiration date.

- (c) A maintenance security in the form of a certified cheque made payable to the Town, or cash in an amount equal to 20% of the Phase 2 works. This security must be provided to the Town prior to the issuance of a certificate of total completion. Such security to held by the Town for a period of twelve (12) months from the date of issuance of the **Certificate of Total Completion**.

- 28. The Developer agrees that if it fails to meet any and all conditions of this Agreement, the Town may and is hereby irrevocably authorized by the Developer to use the amounts referred to in paragraph 27 furnished to the Town to pay the cost of having the conditions satisfied.
- 29. That upon completion of construction, the Developer shall provide to the Town a complete set of "record" drawings, detailing complete final record construction and including both horizontal and vertical control for location of streets, sidewalks, curbs, water mains and appurtenances, sewer service connections to mains and other related works provided in the development, and including ties to locate all curb stops, valves and all underground appurtenances. All plans shall be in reproducible form.
- 30. That at the Developer's expense, to repair any defects in the works and services construction pursuant to this agreement for a period of one year after the issue of the Certificate of Substantial Completion and in particular, shall repair, at the Developer's expense, any defects in the water and sewer service connections, that occur from the street mains to the street line fronting each particular lot for a period of one year following the granting of an occupancy permit for any lot within this Development.

31. That the Developer shall provide conveyances in a form satisfactory to the Town's solicitors conveying freehold title free and clear from all encumbrances to the Town the following:
  - (i) Services, works, easements and right-of-ways whose boundaries are shown outlined in red on the Property Plan of the Development hereto annexed as Schedule "B" and forming part of this Agreement. Subject, however, that such services and works, easements and right-of-ways shall be accepted by the Town and a certificate of acceptance has been granted by the Town to the Developer. Such services, works, easements and right-of-ways shall run to the geographic limits of the property and be fully conveyed to the Town in that manner.
32. The Developer covenants with the Town to provide all necessary easements and/or right-of-ways required by utility companies for the purpose of supplying electrical and telephone services, street lighting and any other utility services within the subdivision and the Developer shall provide all necessary easements to the utility companies to complete the same and ensure that the location of said easements are shown on the master plan of the Developer.
33. That the Developer agrees to inform all prospective lot purchasers of the conditions pertaining to the development of individual lots including, but not limited to, landscaping, driveways, location certificates and occupancy permits, and all other relevant provisions of this Agreement.
34. That the Developer agrees to apply for and obtain all permits necessary for the Development from the appropriate Provincial and Federal Departments of Government.
35. The Developer agrees to pay all taxes and assessments referred to herein forthwith upon presentation of same by the Town.

## **TOWN'S COVENANTS**

36. That upon the issue of the certificate of total completion the Town will issue to the Developer a certificate stating that such services and works have been constructed and installed to the specifications of the Town and in accordance with the plans and specifications.

37. To have all proper zoning in place at the commencement of the construction of the Development and shall issue all permits and certificates without delay upon proof that this agreement has been complied with by the Developer.

38. That all monies required to be deposited by the Developer shall be held and accounted for by the Town and upon completion of the required covenants herein by the Developer and upon acceptance by the Town, to return such monies to the Developer.

## **MUTUAL COVENANTS**

39. The parties mutually agree that a permit to develop issued by the Town pursuant to the Subdivision Regulations shall be revocable at the option of the Town upon the Developer's failure to comply with any of the terms and conditions contained in this Agreement.

40. The parties hereby mutually agree that the approval by the Town of the plans and specifications as submitted does not in any way make the Town liable for any errors or omissions that may from time to time become evident, nor does approval release the Developer from the responsibility of making any changes, corrections or additions that may become necessary.

41. That time shall be of the essence of this Agreement.

42. That the laws of Newfoundland shall govern this Agreement.

43. That this Agreement shall be binding on the parties hereto, their respective successors and assigns.

44. **DEFINITIONS**

**Substantial Completion**

The Subdivision shall be deemed to be substantially completed when, in the Town's sole opinion, exercised reasonably, the work or a substantial part thereof is ready for use or is being used for the purpose intended. Substantial Completion is defined as the installation and Town approval of:

- (a) all piped services,
- (b) the first course of asphalt, and,
- (c) curb and gutter

**Total Completion**

Total Completion shall mean when the entire Subdivision has been completed in accordance with this Agreement and is so certified by the Town .

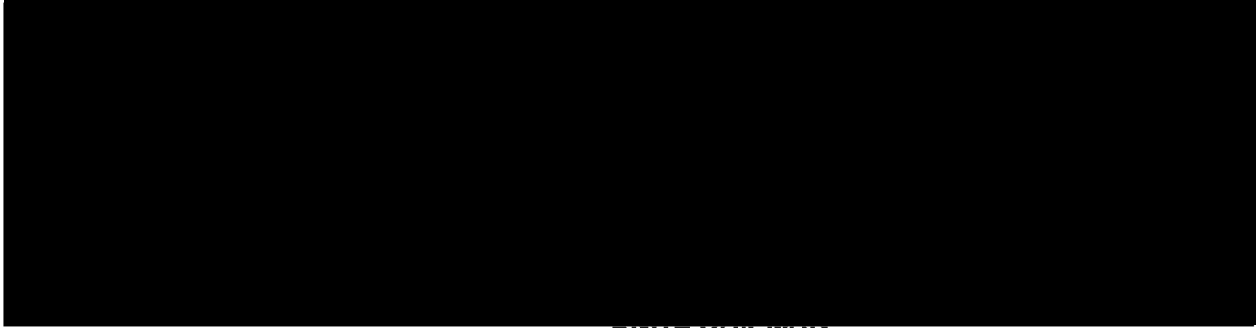
45. **THAT THE PARTIES HERETO AGREE:**

- (a) The Town shall issue no building permits until:
  - all underground services have been installed,
  - said services have been inspected and approved by the Town; and
  - all associated documentation has been received and approved by the Town.
- (b) The Town shall issue no occupancy permit prior to complete installation of all underground services, curbs and gutters and the first lift of asphalt.
- (c) The developer is responsible for assuring that the locations of all dwellings meet the standards of the approved grading plan for the development.
- (d) Notwithstanding the above, the Town, at its sole and absolute discretion, exercised reasonably may issue building and/or occupancy permits as conditions warrant.

**IN WITNESS WHEREOF** the parties hereto have set their hands and seals the day and year first before written.

**THE CORPORATE SEAL** of  
**INDEX INVESTMENTS INC.**  
was affixed by its authorized  
officers in the presence of:

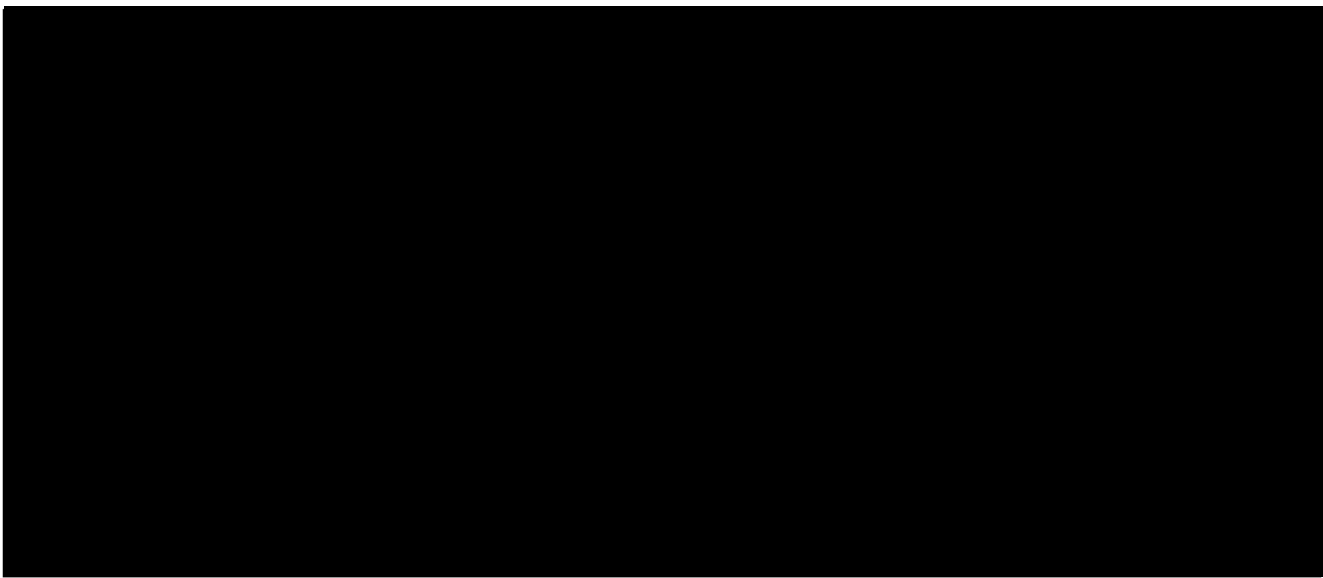
**INDEX INVESTMENTS INC.**



**THE CORPORATE SEAL** of Town  
of Paradise was affixed by its  
authorized officers in the presence of:

A Commissioner for Oaths in and for  
the Province of Newfoundland and Labrador.  
My commission expires on December 31, 2016.

**THE TOWN OF PARADISE**

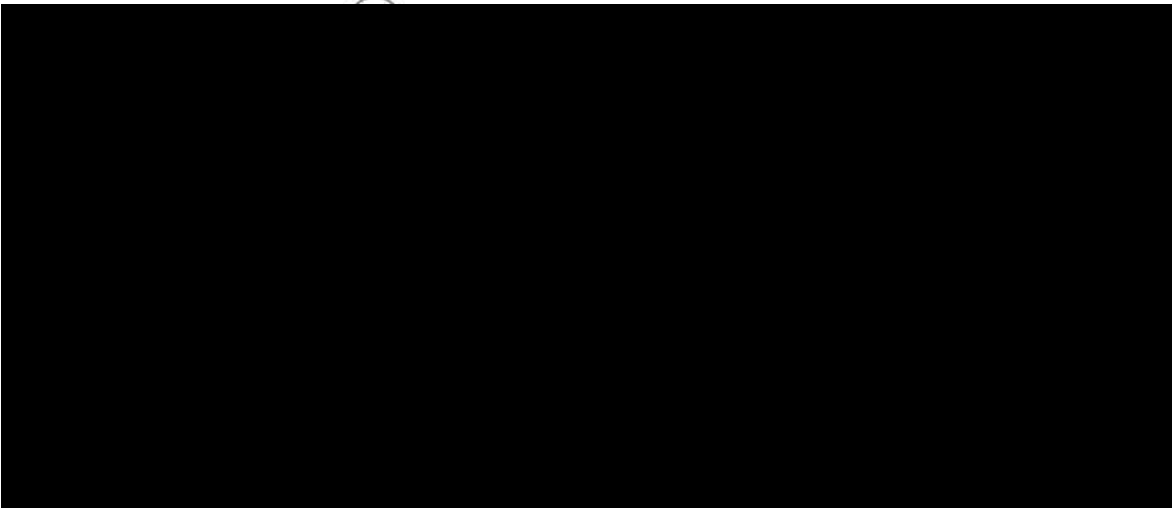


**CERTIFIED COPY OF A RESOLUTION PASSED BY THE BOARD OF DIRECTORS OF INDEX INVESTMENTS INC. AT A MEETING HELD ON THE DAY OF \_\_\_\_\_, A.D. 2010.**

**WHEREAS** INDEX INVESTMENTS INC. has agreed to enter into a subdivision development agreement with the Town of Paradise respecting the development of property known as Topsail Terrace Phase 2, which property is within the municipal jurisdiction of the Town of Paradise;

**BE IT RESOLVED** that the Directors of INDEX INVESTMENTS INC. authorize the company to enter into a subdivision development agreement with the Town of Paradise with respect to Topsail Terrace Phase 2 and that the President be empowered to sign all documents necessary to affect such agreement/transfer.

**DATED** at *St John's* this *30* day of *March*, *2011*, 2010.

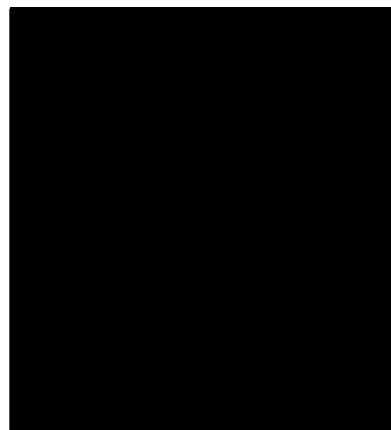


**President**

A Commissioner for Oaths in and for  
the Province of Newfoundland and Labrador.  
My commission expires on December 31, 2016.

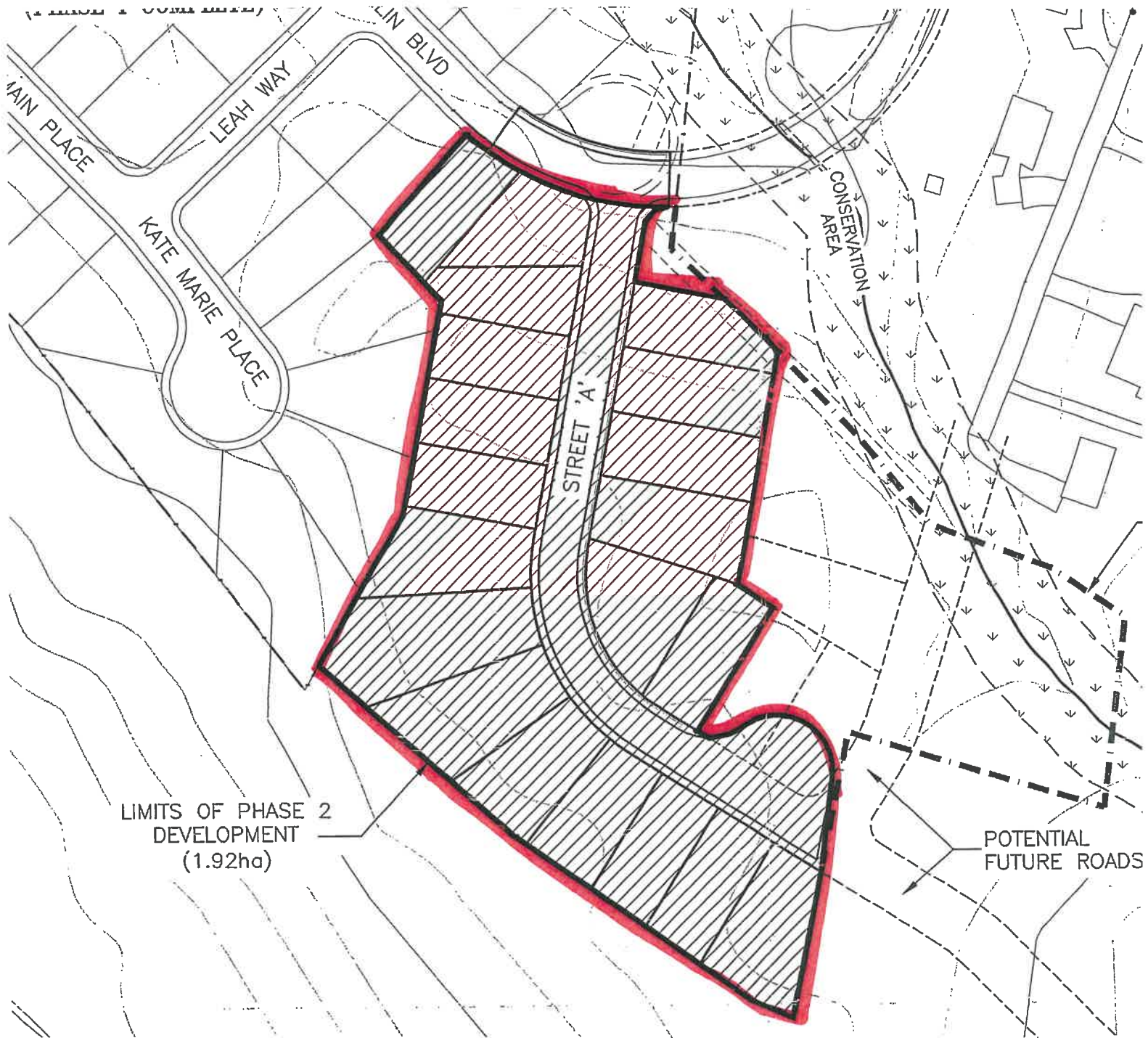
## **Contract Drawings and Specifications**

The engineering drawings for this project that bear the “Approved” stamp of the Town of Paradise shall be considered as the contract drawings and specifications as identified in Section #5 of this Development Agreement.



**SCHEDULE “A”**

# External Boundaries of Subdivision



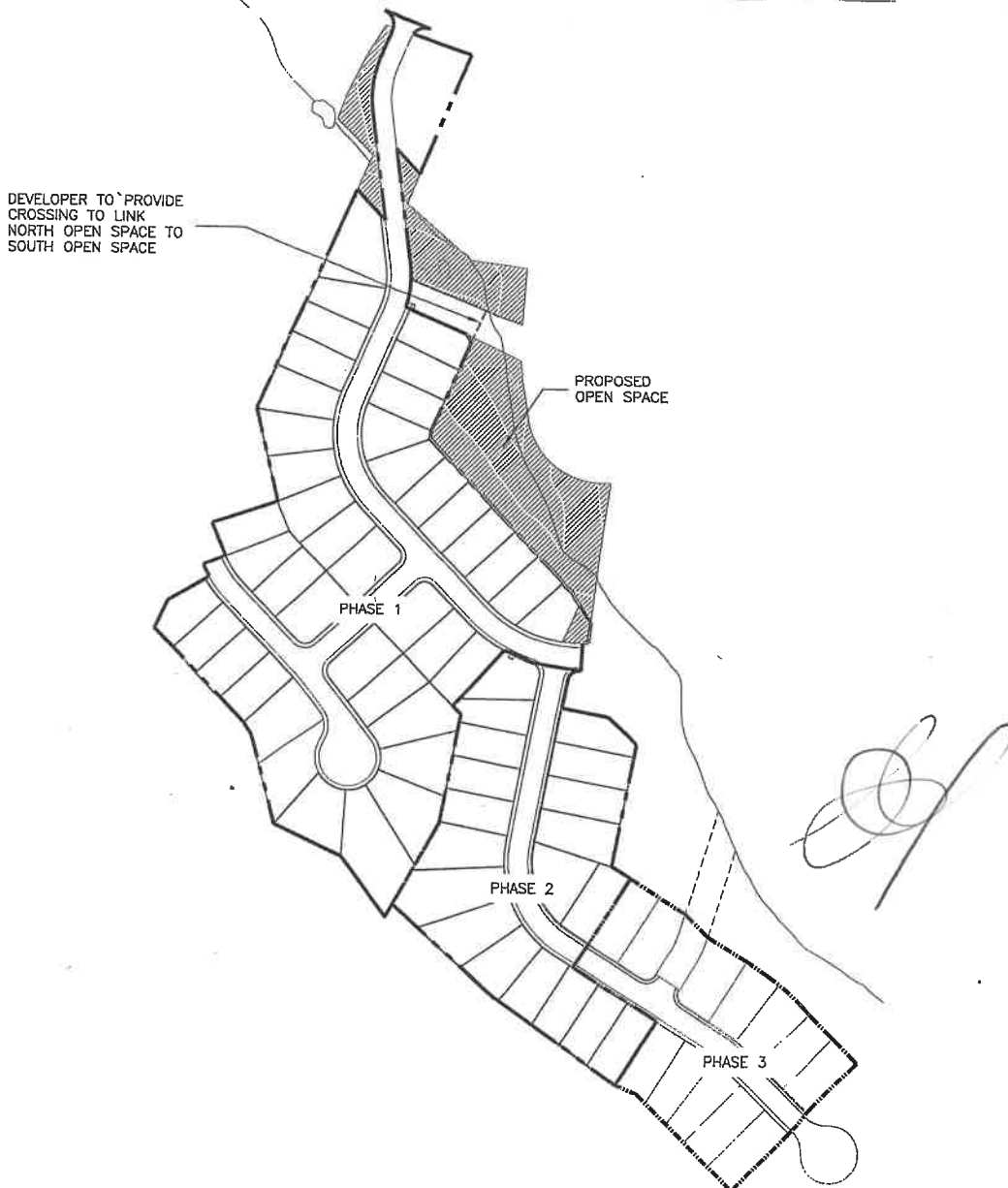
**SCHEDULE "B"**

## Open Space

All subdivision developments are subject to a dedication of open space land (10% of the area being developed), a cash-in lieu dedication (10% of the undeveloped value of the area being developed), or a combined dedication of land and cash.

The open space dedication for Topsail Terrace Phase 2 forms part of the larger open space dedication for the Phases 1 and 2. The open space dedication consists of separate areas within the development totaling .89 hectares as illustrated in the MAE Design Ltd. drawing shown below. (See Drawing C-1, Project No. 2008.0013, Sept. 2009).

Arrangements for the transfer of the open space area to the Town of Paradise are to be finalized by the developer within ninety (90) days of the signing of this Development Agreement.



**SCHEDULE "C"**



## DEVELOPMENT APPROVAL

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Applicant: Index Investments  
C/o MAE Design

Date of Issue: July 6, 2020

Application #: S2020-008

Expiry Date: July 6, 2021

The Council has considered your application dated April 24, 2020 for Development Approval to construct a three lot infill subdivision located at Corcoran's Road and hereby grants Development Approval for the proposal, subject to the conditions attached hereto.

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT.**

**An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NL, A1B 4J6. A fee of \$230.00 (\$200.00 plus \$30.00 HST), must be remitted along with the appeal.** Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.

A handwritten signature in blue ink that reads "C. Keith Saunders".

Signature of Town Clerk or Authorized  
Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**

/KS

**DEVELOPMENT REGULATIONS CONDITIONS**

1. The development must comply with the standards of the RLD (Residential Low Density) Use Zone, Paradise Development Regulations, 2016.

Minimum Lot Area .....	580 m <sup>2</sup>
Minimum Building Line Set Back .....	7.6 m
Maximum Building Line Set Back .....	15 metres
Minimum Rear Yard .....	8 metres
Minimum Side Yard .....	2.4/1.2 metres
Maximum Height .....	9 metres
Minimum Frontage .....	18 metres

2. Prior to the issuance of a building permit, the applicant must submit the following:
  - A legal survey and property description of the land shown on the application.
  - Proof of ownership of the land shown on the application.
  - Two sets of plans that meet the National Building Code at the time the permit is issued.
3. The open space dedication was conveyed as part of Topsail Terrace Phase 2.
4. All work shall be carried out in accordance with the requirements of the Paradise Development Regulations, the terms of this Approval, and all other rules and regulations, of the Town of Paradise. No work, however, is permitted until an excavation permit has been issued.
5. A permit from Water Resources Management Division is required for any infilling work within fifteen (15) metres of the high water (Flood zone area) mark of a body of water prior to the start of infilling.
6. The issue of this permit does not exempt the permit holder from obtaining any other permits or approvals required by law.
7. Any permit placard issued by the Town of Paradise relating to the work authorised must be displayed in full public view on the site.
8. The Developer cannot retain lands (i.e. ransom strips) for the express purpose of preventing the development of adjacent lands owned by others.
9. The developer is responsible for making arrangements with Canada Post and the Town for the provision of postal service to the proposed development.

.../3

3.

10. Building Permits will not be issued until the lots have been brought to substantial completion as per the Town policy "Issuance of Permits in Subdivisions" (PPS-007).
11. This development is subject to the Town policy "Foundation Elevations and Lot Grading Policy" (PPS-006).
12. It is the Developer's responsibility to ensure all builders are provided with copies of the approved grading plan and for ensuring that construction is in accordance with the approved grading plan.
13. The grade and sighting of all buildings on site shall be approved by the Town of Paradise. If a structure is to be placed on a "filled" area, the placement of the fill material must be supervised and certified by an engineering firm as suitable structure fill, as defined under the National Building Code of Canada. All dwellings must be constructed in accordance with the National Building Code in place when the building permit is obtained for each dwelling.
14. This permit does not authorise the occupancy or use of Crown Land or other lands without a lease, grant, or other permission of either the Crown or the rightful owner.
15. The development is subject to a \$500.00 per lot Park Outfitting Fee.
16. All development on properties serviced by municipal water and sewer lines will be subject to the payment of the \$500.00 per lot Trunk Sewer Fee, unless such fee has been remitted from the subdivision developer. Other assessments, as outlined in the Town of Paradise Fee Structure, may also apply.
17. Developer must provide washroom facilities (i.e port-a-potty) for employees during the subdivision construction.
18. It is the Developer's responsibility to ensure that all slopes are 2:1 and landscaped. Any land that is cleared of vegetation and/or excavated, but not required to complete the street works and lots, must be landscaped to the satisfaction of the Town. In the case of the open space areas, all excavated areas must be brought to rough grade and ready for topsoil.
19. The Developer shall ensure that any blasting required to be done shall be done in compliance with the Blasting Regulations of the Province of Newfoundland and Labrador. The Town of Paradise shall be notified at least twenty-four (24) hours in advance of any blasting taking place and shall be provided with proof of blasting insurance, blasting license, and a copy of the pre-blast survey.

\*\* Note \*\* Subdivision Development fees do not include the \$2000 infrastructure fee and/or Building Permit fees. The Infrastructure fee and Building Permit fees are collected with the issuance of the Building Permit for each dwelling.



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Signature of Town Clerk or  
Authorized Municipal Officer



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## Excavation Permit

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**Applicant: INDEX INVESTMENTS LTD.      Date: JULY 15, 2020**

**Subdivision: CORCORAN'S ROAD INFILL**

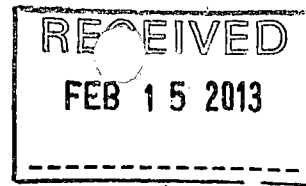
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**Permit for general clearing and site preparation only. Water Resources approval required for any infilling or any work within 15 metres of the high water mark of the stream.**

*Alton Glenn*

Alton Glenn, Director of Planning  
and Protective Services

Fees:  
Excavation      \$2000.00  
Security:      \$2000.00  
Receipt #      2020777827



Government of Newfoundland and Labrador  
Department of Environment and Conservation  
Water Resources Management Division

**PERMIT TO ALTER A BODY OF WATER**

Pursuant to the *Water Resources Act*, SNL 2002 cW-4.01, Section(s) 48

Date: **FEBRUARY 12, 2013**

File No: **522-11**  
Permit No: **ALT6820-2013**

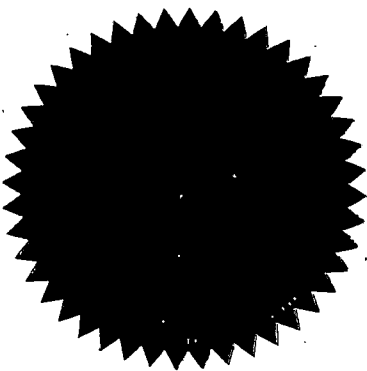
Proponent: **Index Investments Inc.**  
**64 Ortega Drive**  
**Paradise NL A1L 2L2**

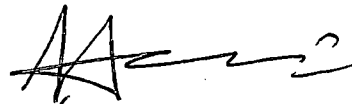
Attention: **Mr. Gerry Spracklin**

Re: **Paradise (Corcorans Road) - Stream Realignment**

Permission is hereby given for: **realignment of 110 metres reach of a tributary of Topsail River in order to facilitate the residential development at Corcorans Road in the Town of Paradise, with reference to application dated December 13, 2012 and additional information received on January 22, 2013.**

- This permit does not release the proponent from the obligation to obtain appropriate approvals from other concerned provincial, federal and municipal agencies.
- The proponent must obtain the approval of the Crown Lands Division of the Department of Environment and Conservation if the project is being carried out on Crown Land.
- This permit is subject to the terms and conditions indicated in Appendix A (attached).
- It should be noted that prior to any significant changes in the design or installation of the proposed works, or in event of changes in ownership or management of the project, an amendment to this permit must be obtained from the Department of Environment and Conservation under Section 49 of the *Water Resources Act*.
- Failure to comply with the terms and conditions will render this permit null and void, place the proponent and their agent(s) in violation of the *Water Resources Act* and make the proponent responsible for taking any remedial measures as may be prescribed by this Department.



  
MINISTER

**APPENDIX A**  
**Terms and Conditions for Environmental Permit**

Paradise (Corcorans Road) - Stream Realignment

**Stream Diversion Design**

1. An approximately 140 metres long permanent diversion channel may be excavated to carry the waters of a tributary of Topsail River within the proponent's legal property boundaries.
2. The new channel must have the following dimensions:
  - Bottom width 1.5 m
  - Depth of channel 1.4 m
  - Bank slope 2 Horizontal to one vertical
  - Flow area 3.00-6.02 m<sup>2</sup>
  - Bed slope 1.6-3.5%
3. The new channel must provide adequate capacity to safely discharge flood flows at a velocity no greater than that which would occur in the natural channel.
4. To safely convey peak flows, the new channel must be designed according to the following hydraulic criteria:
  - Design return period 10 years
  - Maximum flow capacity 3.80 m<sup>3</sup>/s
  - Maximum flow velocity 0.63 m/s
5. A minimum freeboard of 0.6 metre must be provided between the design high water level and the top of the channel bank to prevent overtopping.

**Stream Diversion Construction**

6. Alteration of the natural minimum streamflow is not permitted in order to preserve aquatic life.
7. The old channel must be closed to all flow of water. The fill or structure diverting flows into the new channel must be adequately protected from erosion.
8. The toe of the stream bank must be stabilized with fitted rock. The bank must be covered with an adequate layer of topsoil and seeded or sodded. The channel bed must be stabilized with a layer of clean washed gravel resembling natural stream condition.
9. The proponent must prevent erosion of drainage ditches, streams or other natural bodies of water by installing rip-rap and/or sodding.
10. Where pumping is used to bypass flow, cofferdams must be installed both above and below areas of construction. The proponent must provide pumps with sufficient capacity to prevent washout of cofferdams.
11. Cofferdams must be properly designed and constructed of suitable materials to prevent leakage and to resist loss of any material as a result of erosion. Cofferdams must be removed upon completion of their intended function. All material must be removed carefully to prevent disturbance of the water body and to prevent water quality degradation.
12. The new channel must be excavated in the dry beginning from the downstream end.
13. Flow must not be diverted into the new channel until all excavation, lining and bank stabilization work has been completed. Water from the old channel must be diverted into the new channel gradually. The channel must be monitored visually for any indications of excessive erosion or other problems.
14. The channel, including any areas up to the high water mark, must be kept free of all excavated or unused construction materials at all times.
15. The channel must be inspected regularly and maintained to ensure that there is no erosion of the channel. Any debris causing a blockage must be removed when necessary.

**General Alterations**

16. Any work that must be performed below the high water mark must be carried out during a period of low water levels.

17. Any flowing or standing water must be diverted around work sites so that work is carried out in the dry.
18. Water pumped from excavations or work areas, or any runoff or effluent directed out of work sites, must have silt and turbidity removed by settling ponds, filtration, or other suitable treatment before discharging to a body of water. Effluent discharged into receiving waters must comply with the *Environmental Control Water and Sewage Regulations, 2003*.
19. All operations must be carried out in a manner that prevents damage to land, vegetation, and watercourses, and which prevents pollution of bodies of water.
20. The use of heavy equipment in streams or bodies of water is not permitted. The operation of heavy equipment must be confined to dry stable areas.
21. All vehicles and equipment must be clean and in good repair, free of mud and oil, or other harmful substances that could impair water quality.
22. Wood preservatives such as penta, CCA or other such chemicals must not be applied to timber near a body of water. All treated wood or timber must be thoroughly dry before being brought to any work site and installed.
23. Any areas adversely affected by this project must be restored to a state that resembles local natural conditions. Further remedial measures to mitigate environmental impacts on water resources can and will be specified, if considered necessary in the opinion of the Department.
24. The bed, banks and floodplains of watercourses, or other vulnerable areas affected by this project, must be adequately protected from erosion by seeding, sodding or placing of rip-rap.
25. All waste materials resulting from this project must be disposed of at a site approved by the Department of Service NL.
26. The owners of structures are responsible for any environmental damage resulting from dislodgement caused by wind, wave, ice action, or structural failure.
27. Sediment and erosion control measures must be installed before starting work. All control measures must be inspected regularly and any necessary repairs made if damage is discovered.
28. The attached Completion Report (Appendix B) for Permit No. 6820 must be completed and returned to this Department upon completion of the approved works.
29. This Permit is valid for two years from the date of issue. Work must be completed by that date or the application and approval procedure must be repeated.
30. The location of the work is highlighted on the Location Map for this Permit attached as Appendix C.

**Special Conditions**

31. Although the stream diversion is designed for a 1:10 year return period, all site grading and finished floor elevation must be completed to eliminate flooding of private property during a 1:100 year flood event.

- cc: Mr. Terry Fleet (E)  
Area Habitat Biologist - Eastern  
Department of Fisheries and Oceans  
1144 Topsail Road  
St. John's NL A1N 5E8
- cc: Ms. Michelle Roberge  
Section Head, Habitat Planning and Operations  
Marine Environment and Habitat Management Division  
Department of Fisheries and Oceans  
PO Box 5667  
St. John's NL A1C 5X1
- cc: Town of Paradise  
Mr. Ron Fleming  
28 McNamara Drive  
Paradise NL A1L 1V1
- cc: Mr. Robin Summers, P. Eng.  
MAE Design Limited  
26 Conception Bay Highway  
Conception Bay South NL A1W 3A1
- cc: Mr. Clyde McLean, P. Eng.  
Manager, Water Investigations Section  
Department of Environment and Conservation  
Water Resources Management Division  
PO Box 8700  
St. John's NL A1B 4J6
- cc: File Copy for Binder



Government of Newfoundland and Labrador  
Department of Environment and Conservation  
Water Resources Management Division

Appendix B - Completion Report

Pursuant to the *Water Resources Act*, SNL, 2002 cW-4.01, Section(s) 48

Date: FEBRUARY 12, 2013

File No: 522-11  
Permit No: ALT6820-2013

Proponent: Index Investments Inc.  
64 Ortega Drive  
Paradise NL A1L 2L2

Attention: Mr. Gerry Spracklin

Re: Paradise (Corcorans Road) - Stream Realignment

Permission was given for: realignment of 110 metres reach of a tributary of Topsail River in order to facilitate the residential development at Corcorans Road in the Town of Paradise, with reference to application dated December 13, 2012 and additional information received on January 22, 2013.

*I (the proponent named above or agent authorized to represent the proponent) do hereby certify that the project described above was completed in accordance with the plans and specifications submitted to the Department of Environment and Conservation and that the work was carried out in strict compliance with the terms and conditions of the Permit issued for this project.*

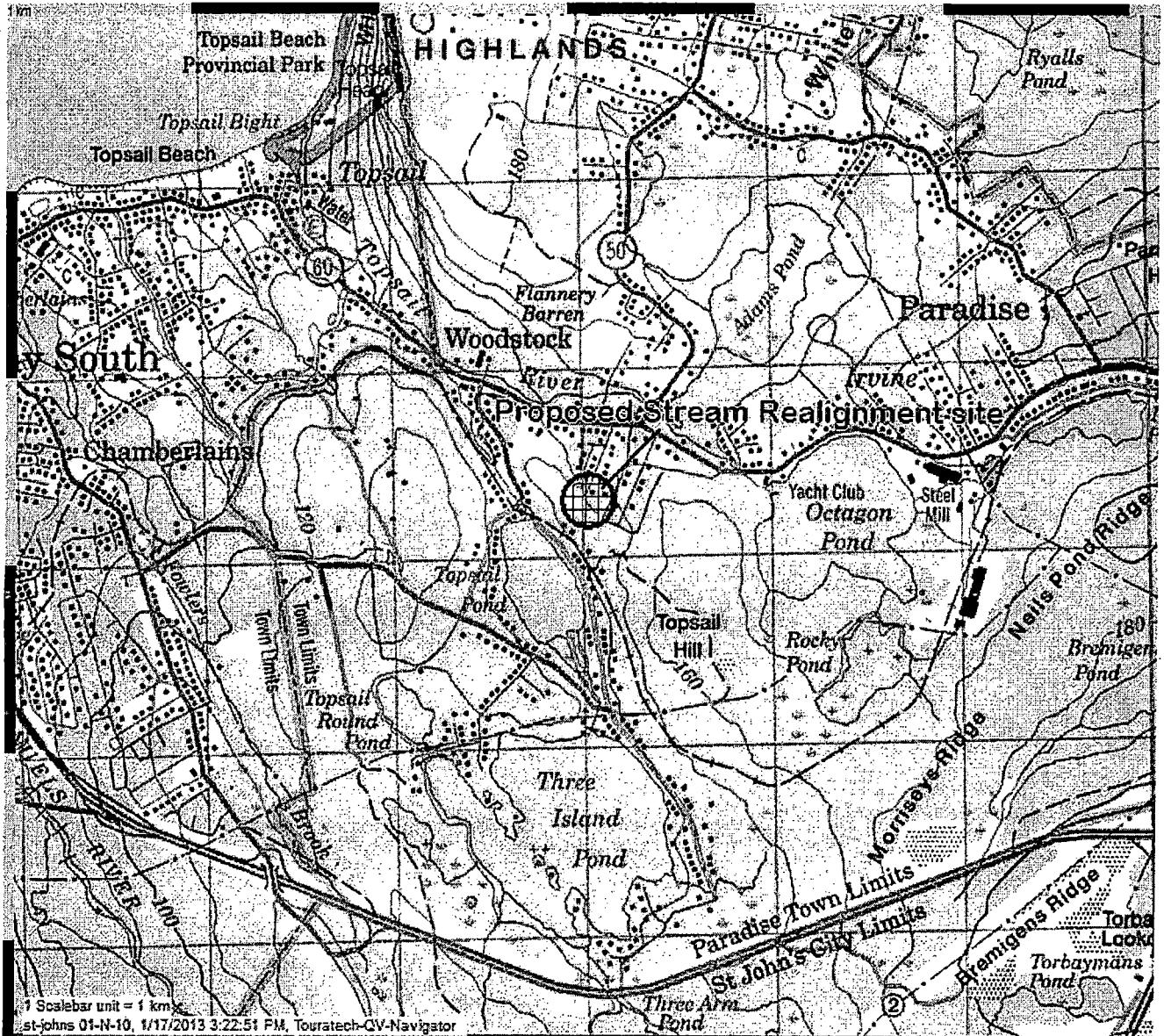
Date: \_\_\_\_\_

Signature: \_\_\_\_\_

This completion report must be completed and forwarded to the following address upon completion of the approved work.

Department of Environment and Conservation  
Water Resources Management Division  
PO Box 8700  
St. John's NL A1B 4J6

APPENDIX C  
Location Map for Environmental Permit





APPROVAL IN PRINCIPLE

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Applicant: Index Investments  
C/o. Gerry Spracklin

Date of Issue: September 21, 2012

Application #: DA12-0892

Expiry Date: September 21, 2013

The Council has considered your application dated July 30, 2012 for development approval to develop five (5) residential lots at the end of Corcoran's Road. Approval in Principle is hereby granted subject to the conditions attached hereto.

You are advised that the granting of this permit shall not in any way relieve the owner and the developer from full responsibility for carrying out the work, or having the work carried out in accordance with the requirements of the regulations, and any person who carries out any development or building work that is not in compliance with this decision and the Regulations, may be subject to an order by the Council to stop such work, and that failure to comply with such an order renders such a person liable to prosecution. **THIS IS NOT A BUILDING PERMIT.**

**An appeal may be submitted to the Regional Appeals Board within fourteen (14) days of the receipt of the permit. All appeals must be addressed to the Secretary of the Appeals Board, Confederation Building, West Block, P.O. Box 8700, St. John's, NF, A1B 4J6. A fee of \$113.00 (\$100.00 plus \$13.00 HST), must be remitted along with the appeal. Should the developer proceed with the work noted on the permit before the expiry of this appeal period, it is done at the developer's own risk. Any queries, appeals, or requests for clarification arising from this permit should be addressed to the Town of Paradise, and should note the application number.**

  
\_\_\_\_\_  
Signature of Town Clerk or  
Authorized Municipal Officer

**SEE CONDITIONS ATTACHED HEREWITH**



**DEVELOPMENT REGULATIONS CONDITIONS (DA12-0892)**

1. The development to meet the Development Standards/Regulations of the RLD (serviced lots) Use Zone in the Town of Paradise Municipal Plan, 2004.

1.1	Minimum Floor Area	110.0 m <sup>2</sup>
1.2	Minimum Building Line setback	7.6 m
1.3	Maximum Building Line setback	15.0 m
1.4	Minimum Rearyard width	9.0 m
1.5	Minimum Sideyard width	2.4/1.2 m
1.6	Maximum Height	8.0 m
1.7	Minimum Frontage	18.0 m
1.9	Minimum Lot Area	580 m <sup>2</sup>

*Note: Complete set of standards for use zone available upon request.*

2. Any construction or alteration to be done in accordance with the current National Building Code of Canada.
3. Prior to the issuance of a Development Approval for the proposed subdivision development, the applicant must submit the following:
- A legal survey and property description of the land shown on the application.
  - Proof of ownership of the land shown on the application.
  - Two sets of engineered subdivision plans that bear the permit stamp and signature of a professional engineer licensed to practice in the Province of Newfoundland and Labrador.
  - A completed application form specifying "Development Approval" accompanied by \$250 processing fee must be submitted to the attention of the Dept. of Planning & Protective Services.
4. Excavation or construction in any form is not permitted under this Approval in Principle.
5. The Dept. of Environment & Conservation must confirm in writing that the water channel through the proposed development is not a watercourse and that the Dept. has no objection to the re-direction of the water channel.



### DEVELOPMENT REGULATIONS CONDITIONS (DA12-0892)

6. If the Dept. of Environment & Conservation determines that the water channel is indeed a watercourse, then the Developer will be required to obtain a certificate of approval from that Department permitting the re-direction of the watercourse. *The Developer is cautioned that a 15 m buffer of undevelopable area must be maintained from the highwater mark of the watercourse (based on its new location). The area within the 15 m area must be re-landscaped with natural vegetation.*
7. The issue of this permit does not exempt the permit holder from obtaining any other permits or approvals required by law.
8. Any permit placard issued by the Town of Paradise relating to the work authorized must be displayed in full public view on the site.
9. This permit does not authorize the occupancy or use of Crown Land or other lands without a lease, grant, or other permission of either the Crown Division, Department of Government Services and Lands, or the rightful owner.
10. All development on properties serviced by municipal water and sewer lines will be subject to the payment of the \$500.00 per lot Trunk Sewer Fee, unless such fee has been remitted from the subdivision developer. Other assessments, as outlined in the Town of Paradise Fee Structure, may also apply. These shall include:
  - The open space assessment equal to a minimum of ten (10) per cent of the developable land and may be in the form of cash-in-lieu, land dedication or a combination of both. The open space requirement will be determined prior to signing of the Development Agreement and upon approval of the required engineered subdivision plans. The development will be subject to a \$500.00 per lot Park Outfitting Fee.
11. The development will be subject to conditions to be imposed by a signed development agreement, payment of all required Development fees and submission of the appropriate securities in the form of a letter of irrevocable credit, bonding, or cash.
12. The Development Agreement will be prepared upon approval of the required engineering plans for the development.



**DEVELOPMENT REGULATIONS CONDITIONS (DA12-0892)**

13. The developer will be responsible for making arrangements with Canada Post and the Town for the provision of postal service to the proposed development. The proposed mail box site must be approved by the Town prior to the signing of the "Development Agreement".
14. Should blasting be required to prepare the subdivision area, it is the developer's and/or property owner's responsibility to ensure all required permits are obtained from the appropriate government departments and/or agencies. In addition, the Town of Paradise must be notified well in advance of the blasting operation.
15. The Town of Paradise reserves the right to add additional conditions with the issuance of a Development Approval.

\_\_\_\_\_  
Signature of Town Clerk or  
Authorized Municipal Officer

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke, is written over the signature line.

## PERMIT TO ALTER A BODY OF WATER

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Pursuant to the *Water Resources Act*, SNL 2002 cW-4.01, specifically Section(s) 48

Date: **NOVEMBER 16, 2020**

File No: **524**

Permit No: **ALT11474-2020**

Permit Holder: **Index Investments Inc.  
64 Ortega Drive  
Paradise, NL  
A1L 2L2**

Attention: **Mr. Gerald Spracklin**

Re: **Town of Paradise - Unnamed Tributary - Installation of Storm Water Outfall**

---

Permission is hereby given for : **the installation of one (1) - 1200mm HDPE culvert with a length of 12.46 metres, in addition to the installation of a concrete headwall near an unnamed tributary of Topsail River for the construction of a storm water outfall within the Town of Paradise in reference to the application received on October 13, 2020 and additional information received on November 16, 2020.**

- This Permit does not release the Permit Holder from the obligation to obtain appropriate approvals from other concerned municipal, provincial and federal agencies.
- The Permit Holder must obtain the approval of the Crown Lands Administration Division if the project is being carried out on Crown Land.
- This Permit is subject to the terms and conditions indicated in Appendices A and B (attached).
- It should be noted that prior to any significant changes in the design or installation of the proposed works, or in event of changes in ownership or management of the project, an amendment to this Permit must be obtained from the Department of Environment, Climate Change and Municipalities under Section 49 of the *Water Resources Act*.



(for) MINISTER

**APPENDIX A**  
**Terms and Conditions for Permit**

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**Storm Drainage Works**

1. Removal of streambank vegetation or trees is not permitted. Overhanging brush that collects snow and blocks ice movement may be pruned and cut back to allow free flow of water.
2. Outfalls must be inspected regularly so that immediate action can be taken to clear blockages caused by ice or debris or to undertake repairs as required.
3. A water quality monitoring program is not required at this time. However, the Department reserves the right to require that the Permit Holder sample, analyse, and submit results of water quality tests, for the purpose of ensuring that the water quality is maintained within acceptable guidelines. All analyses must be undertaken by a CALA accredited laboratory.
4. Adequate erosion protection must be provided in the area where storm/sewer outfall discharges as per detail #560 of the *Municipal Water, Sewer and Roads Specifications*.

**General Alterations**

5. Any work that must be performed below the high water mark must be carried out during a period of low water levels.
6. Any flowing or standing water must be diverted around work sites so that work is carried out in the dry.
7. Water pumped from excavations or work areas, or any runoff or effluent directed out of work sites, must have silt and turbidity removed by settling ponds, filtration, or other suitable treatment before discharging to a body of water. Effluent discharged into receiving waters must comply with the *Environmental Control Water and Sewage Regulations, 2003*.
8. All operations must be carried out in a manner that prevents damage to land, vegetation, and watercourses, and which prevents pollution of bodies of water.
9. The use of heavy equipment in streams or bodies of water is not permitted. The operation of heavy equipment must be confined to dry stable areas.
10. All vehicles and equipment must be clean and in good repair, free of mud and oil, or other harmful substances that could impair water quality.
11. During the construction of concrete components, formwork must be properly constructed to prevent any fresh concrete from entering a body of water. Dumping of concrete or washing of tools and equipment in any body of water is prohibited.
12. Any areas adversely affected by this project must be restored to a state that resembles local natural conditions. Further remedial measures to mitigate environmental impacts on water resources can and will be specified, if considered necessary in the opinion of this Department.
13. The bed, banks and floodplains of watercourses, or other vulnerable areas affected by this project, must be adequately protected from erosion by seeding, sodding or placing of rip-rap.
14. All waste materials resulting from this project must be disposed of at a site approved by the Department of Digital Government and Service NL.

15. Periodic maintenance such as painting, resurfacing, clearing of debris, or minor repairs, must be carried out without causing any physical disruption of any watercourse. Care must be taken to prevent spillage of pollutants into the water.
16. The owners of structures are responsible for any environmental damage resulting from dislodgement caused by wind, wave, ice action, or structural failure.
17. Sediment and erosion control measures must be installed before starting work. All control measures must be inspected regularly and any necessary repairs made if damage is discovered.
18. Fill material must be of good quality, free of fines or other substances including metals, organics, or chemicals that may be harmful to the receiving waters.
19. The attached Completion Report (Appendix C) for Permit No. 11474 must be completed and returned to this Department upon completion of the approved works. Pictures must be submitted along with the completion report, showing the project site prior to and after development.
20. This Permit is valid for two years from the date of issue. Work must be completed by that date or the application and approval procedure must be repeated.
21. The location of the work is highlighted on the Location Map for this Permit attached as Appendix D.
22. All work must be carried out within the Permit Holder's legal property boundaries.

**APPENDIX B**

**Special Terms and Conditions for Permit**

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1. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall keep all systems and works in good condition and repair and in accordance with all laws, by-laws, directions, rules and regulations of any governmental authority. The Permit Holder or its agent(s), subcontractor(s), or consultant(s) shall immediately notify the Minister if any problem arises which may threaten the structural stability of the systems and works, endanger public safety and/or the environment or adversely affect others and/or any body of water either in or outside the said Project areas. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall be responsible for all damages suffered by the Minister and Government resulting from any defect in the systems and works, operational deficiencies/inadequacies, or structural failure.
2. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall operate the said Project and its systems and works in a manner which does not cause any water related and/or environmental problems, including but not limited to problems of erosion, deposition, flooding, and deterioration of water quality and groundwater depletion, in or outside the said Project areas. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall be responsible for any and all damages associated with these problems caused as a result of changes, deficiencies, and inadequacies in the operational procedures by the Permit Holder or its agent(s), subcontractor(s), or consultant(s).
3. If the Permit Holder or its agent(s), subcontractor(s), or consultant(s) fails to perform, fulfil, or observe any of the terms and conditions, or provisions of this Permit, as determined by this Department, the Minister may, without notice, amend, modify, suspend or cancel this Permit in accordance with the *Water Resources Act*.
4. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) indemnify and hold the Minister and Government harmless against any and all liabilities, losses, claims, demands, damages or expenses including legal expenses of any nature whatsoever whether arising in tort, contract, statute, trust or otherwise resulting directly or indirectly from granting this Permit, systems and works in or outside the said Project areas, or any act or omission of the Permit Holder or its agent(s), subcontractor(s), or consultant(s) in or outside the said Project areas, or arising out of a breach or non-performance of any of the terms and conditions, or provisions of this Permit by the Permit Holder or its agent(s), subcontractor(s), or consultant(s).
5. This Permit is subject to all provisions of the *Water Resources Act* and any regulations in effect either at the date of this Permit or hereafter made pursuant thereto or any other relevant legislation enacted by the Province of Newfoundland and Labrador in the future.
6. This Permit shall be construed and interpreted in accordance with the laws of the Province of Newfoundland and Labrador.

- cc: Mr. Stephen Power, P. Eng  
MAE Design Limited  
P.O. Box 17162, Stn. Kelligrews  
615 Conception Bay Highway  
Conception Bay South, NL, A1X 3H1  
spower@maedesign.net
- cc: Amir Ali Khan, Ph.D., P.Eng.  
Manager, Water Rights, Investigations and Modelling Section  
Water Resources Management Division  
Department of Environment, Climate Change and Municipalities  
P.O. Box 8700  
4th Floor, West Block, Confederation Building  
St. John's, NL A1B 4J6  
akhan@gov.nl.ca
- cc: Frank Norman (Eastern)  
Land Management Specialist  
Crown Lands Administration  
Department of Fisheries, Forestry and Agriculture  
Howley Building  
St. John's  
franknorman@gov.nl.ca
- cc: Fisheries Protection Division  
Ecosystem Management Branch  
Fisheries and Oceans Canada  
P.O. Box 5667  
St. John's, NL A1C 5X1  
FPP-NL@dfo-mpo.gc.ca
- cc: Town of Paradise  
Ms. Tracy-Lynn Goosney  
28 McNamara Drive  
Paradise NL A1L 0A6  
tlgoosney@paradise.ca

### Appendix C - Completion Report


Pursuant to the *Water Resources Act*, SNL 2002 cW-4.01, specifically Section(s) 48

Date: **NOVEMBER 16, 2020**

File No: **524**

Permit No: **ALT11474-2020**

Permit Holder: **Index Investments Inc.**  
**64 Ortega Drive**  
**Paradise, NL**  
**A1L 2L2**

Attention: 

Re: **Town of Paradise - Unnamed Tributary - Installation of Storm Water Outfall**

Permission was given for : **the installation of one (1) - 1200mm HDPE culvert with a length of 12.46 metres, in addition to the installation of a concrete headwall near an unnamed tributary of Topsail River for the construction of a storm water outfall within the Town of Paradise in reference to the application received on October 13, 2020 and additional information received on November 16, 2020.**

*I (the Permit Holder named above or agent authorized to represent the Permit Holder) do hereby certify that the project described above was completed in accordance with the plans and specifications submitted to the Department of Environment, Climate Change and Municipalities and that the work was carried out in strict compliance with the terms and conditions of the Permit issued for this project.*

Date: \_\_\_\_\_ Signature: \_\_\_\_\_

This completion report must be completed and forwarded to the following address upon completion of the approved work.

Department of Environment, Climate Change and Municipalities  
Water Resources Management Division  
PO Box 8700  
St. John's NL A1B 4J6

**APPENDIX D**  
**Location Map for Permit**

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PERMIT TO ALTER A BODY OF WATER

Pursuant to the *Water Resources Act*, SNL 2002 cW-4.01, Section(s) 48.

Date: **FEBRUARY 12, 2013**

File No: **522-11**  
Permit No: **ALT6820-2013**

Proponent: Index Investments Inc.  
64 Ortega Drive  
Paradise NL A1L 2L2

Attention: Mr. Gerry Spracklin

Re: Paradise (Corcorans Road) - Stream Realignment

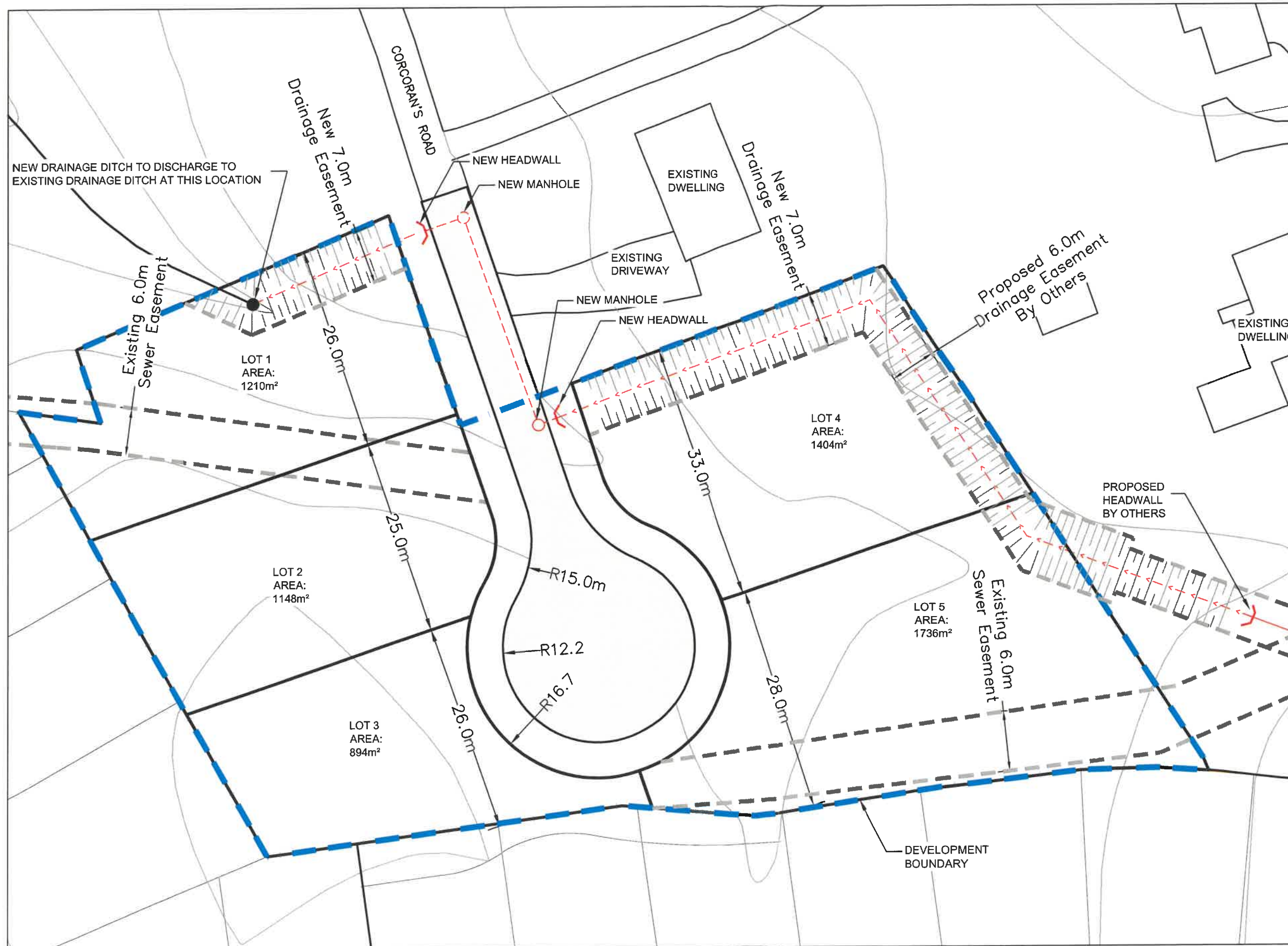
Permission is hereby given for realignment of 110 metres reach of a tributary of Topsail River in order to facilitate the residential development at Corcorans Road in the Town of Paradise, with reference to application dated December 13, 2012 and additional information received on January 22, 2013.

- This permit does not release the proponent from the obligation to obtain appropriate approvals from other concerned provincial, federal and municipal agencies.
- The proponent must obtain the approval of the Crown Lands Division of the Department of Environment and Conservation if the project is being carried out on Crown Land.
- This permit is subject to the terms and conditions indicated in Appendix A (attached).
- It should be noted that prior to any significant changes in the design or installation of the proposed works, or in event of changes in ownership or management of the project, an amendment to this permit must be obtained from the Department of Environment and Conservation under Section 49 of the *Water Resources Act*.
- Failure to comply with the terms and conditions will render this permit null and void, place the proponent and their agent(s) in violation of the *Water Resources Act* and make the proponent responsible for taking any remedial measures as may be prescribed by this Department.



MINISTER





**NOTES**

1.	ISSUED TO TOWN OF PARADISE AND CLIENT	JULY. 27/12
No.	DESCRIPTION	DATE

PERMIT

STAMP

PRIME CONSULTANT

**MAE DESIGN LIMITED**  
CONSULTING ENGINEERS

26 CONCEPTION BAY HWY., CONCEPTION BAY SOUTH, NL A1W3A1

TEL (709) 834-1554 FAX (709) 834-1558

DRAWN BY: R.PIKE DATE: JULY 27, 2012

SCALE: 1:750

A B C	DETAIL NO.
	DRAWING NO. WHERE DETAIL REQUIRED
	DRAWING NO. WHERE DETAILED

PROJECT

**CORCORAN ROAD EXTENSION**

PARADISE NEWFOUNDLAND

DRAWING TITLE

PROPOSED LOT LOCATION AND INFRASTRUCTURE IMPROVEMENTS

PROJECT No.	DRAWING No.
2012.106	<b>C-1</b> SHEET 1 OF 1



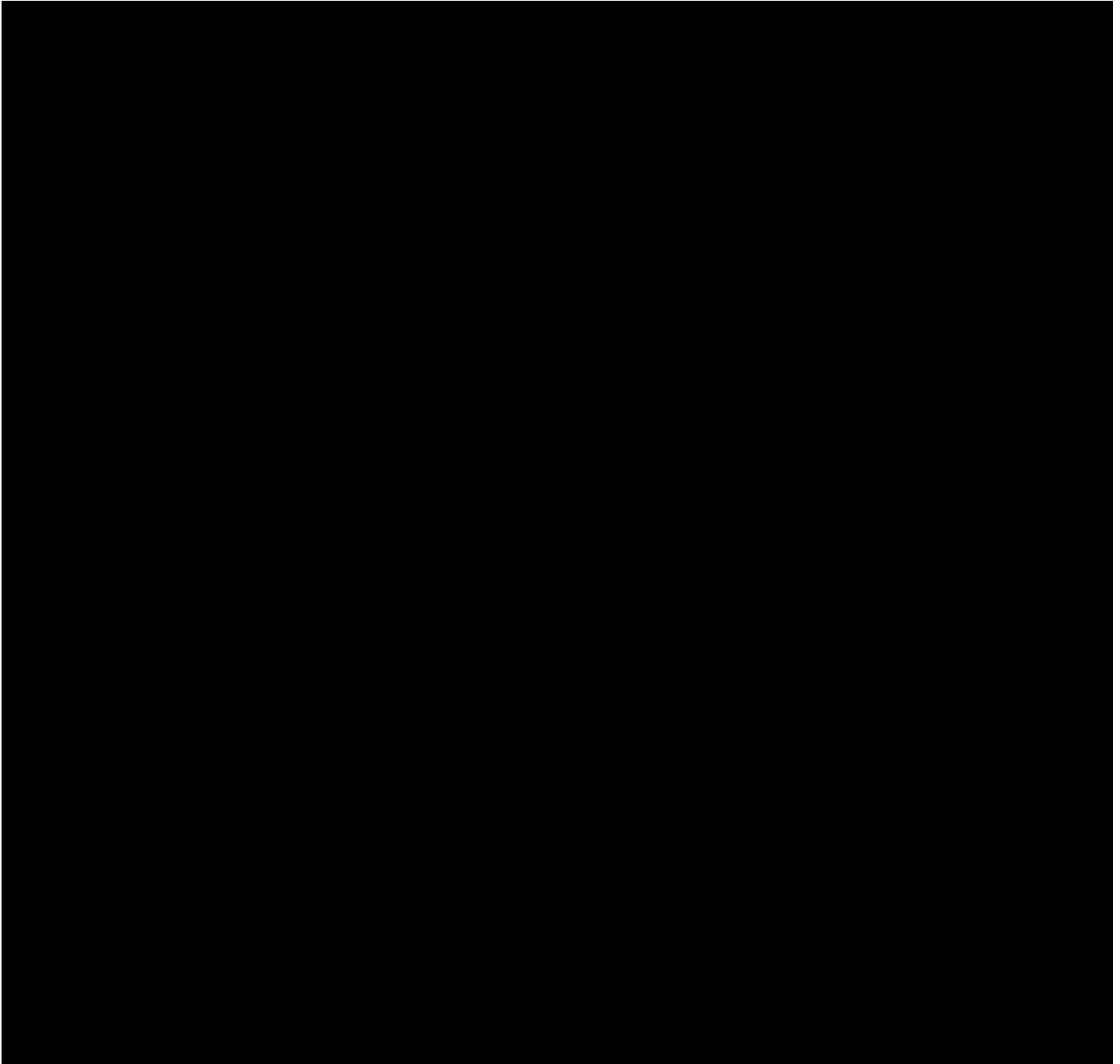
**Town of Paradise**

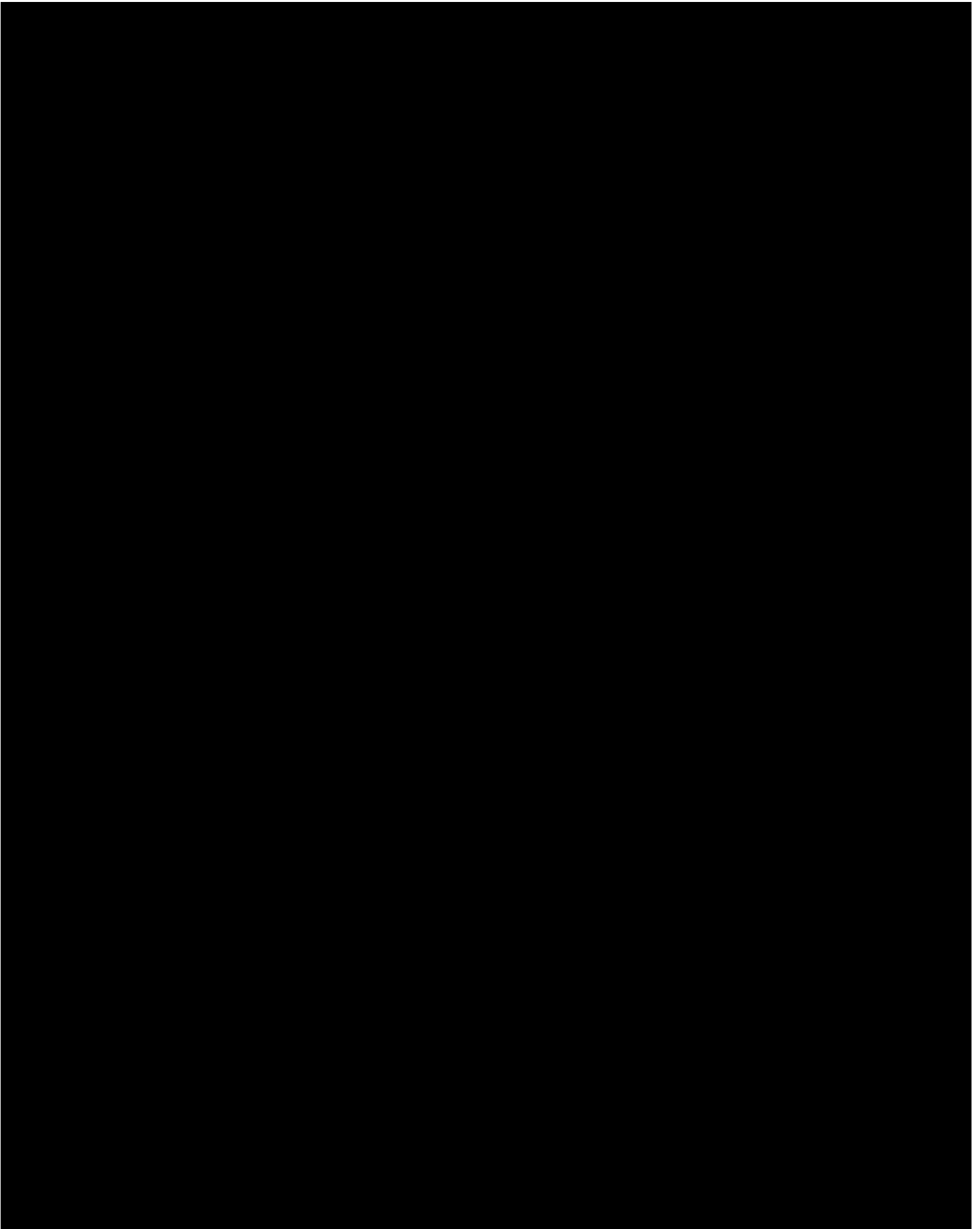
**Planning and Protective Services Committee Meeting**

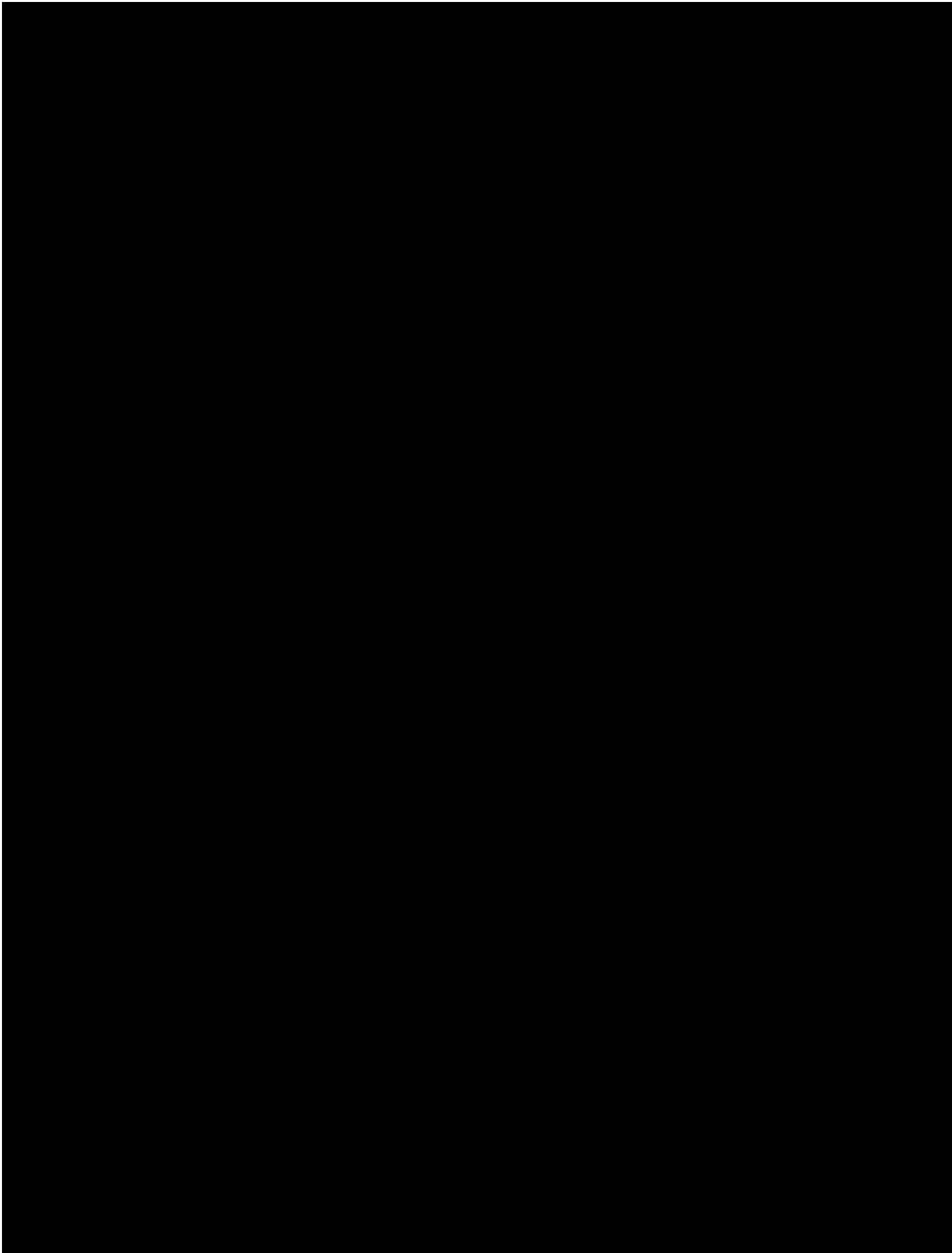
**June 18, 2020, 4:00 p.m.**

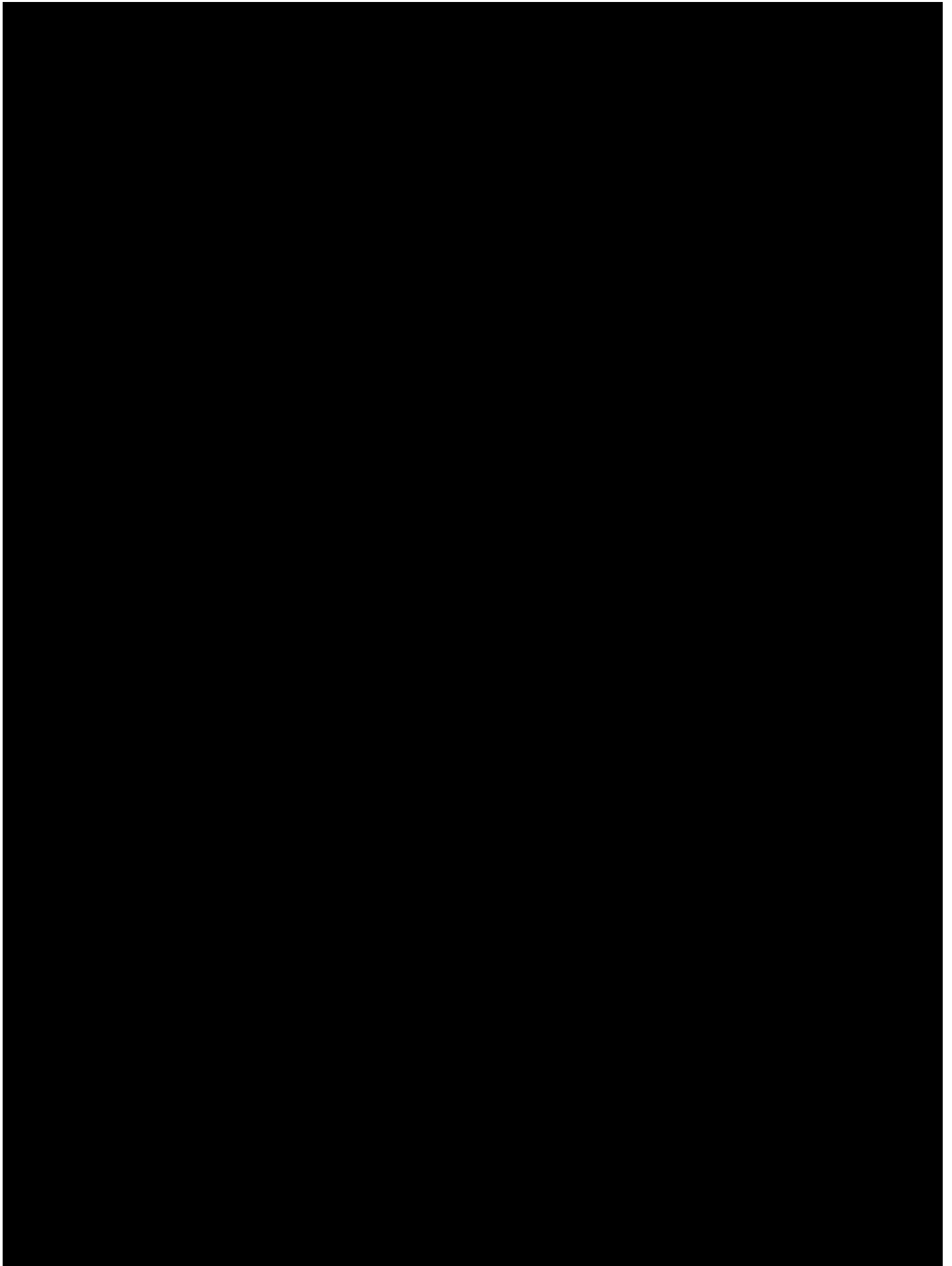
**Virtual Meeting**

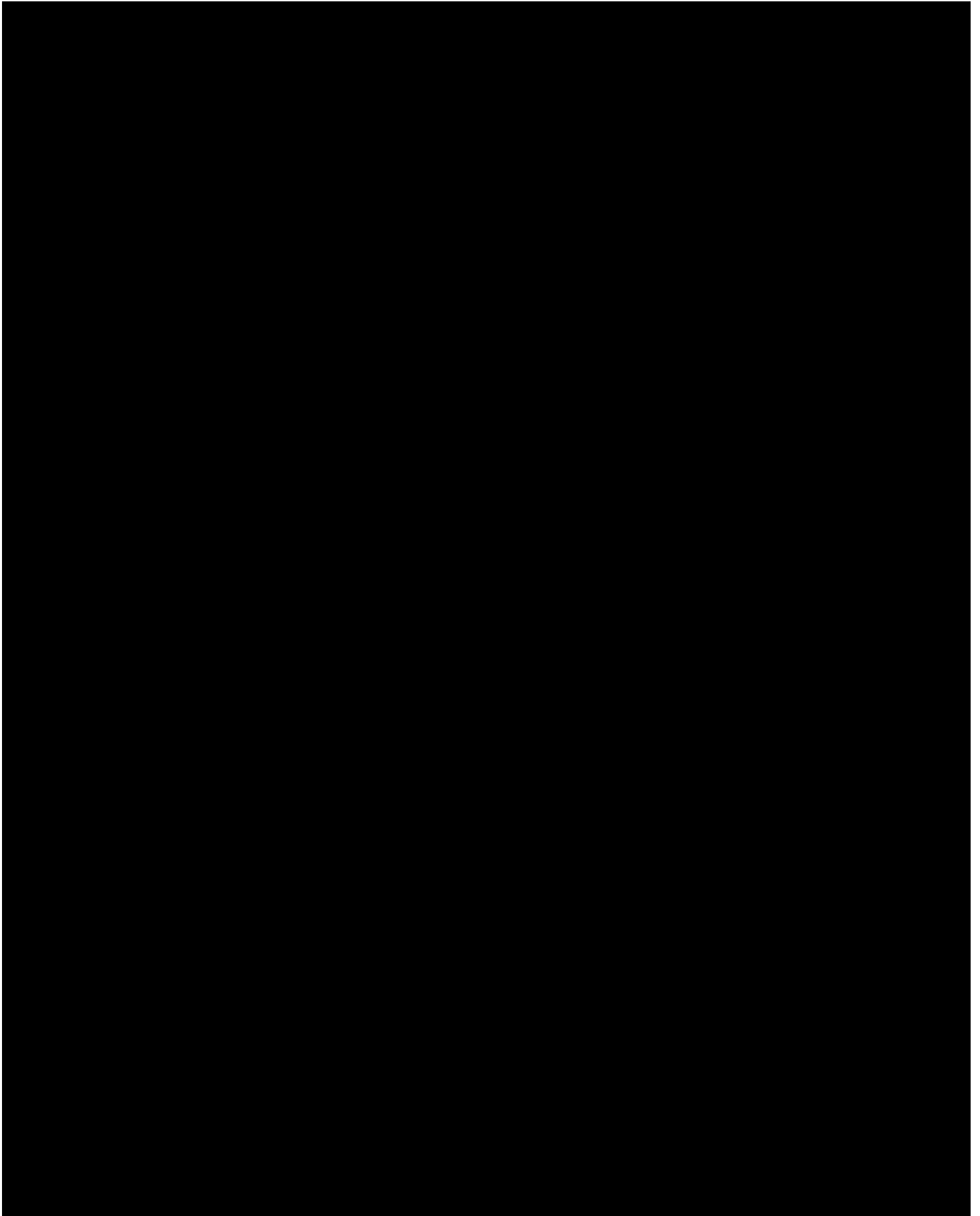
**ATIPPA S 28.1**

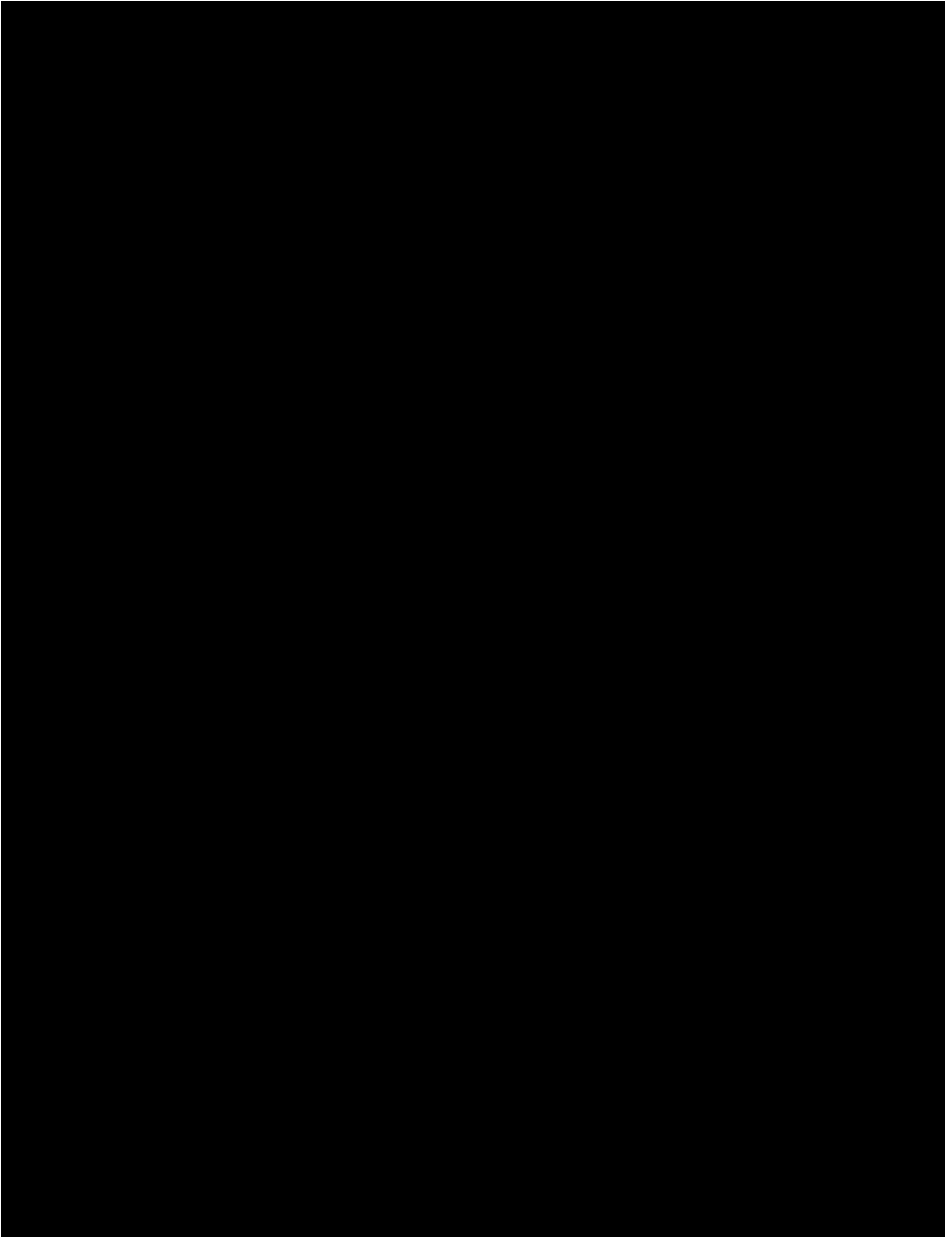


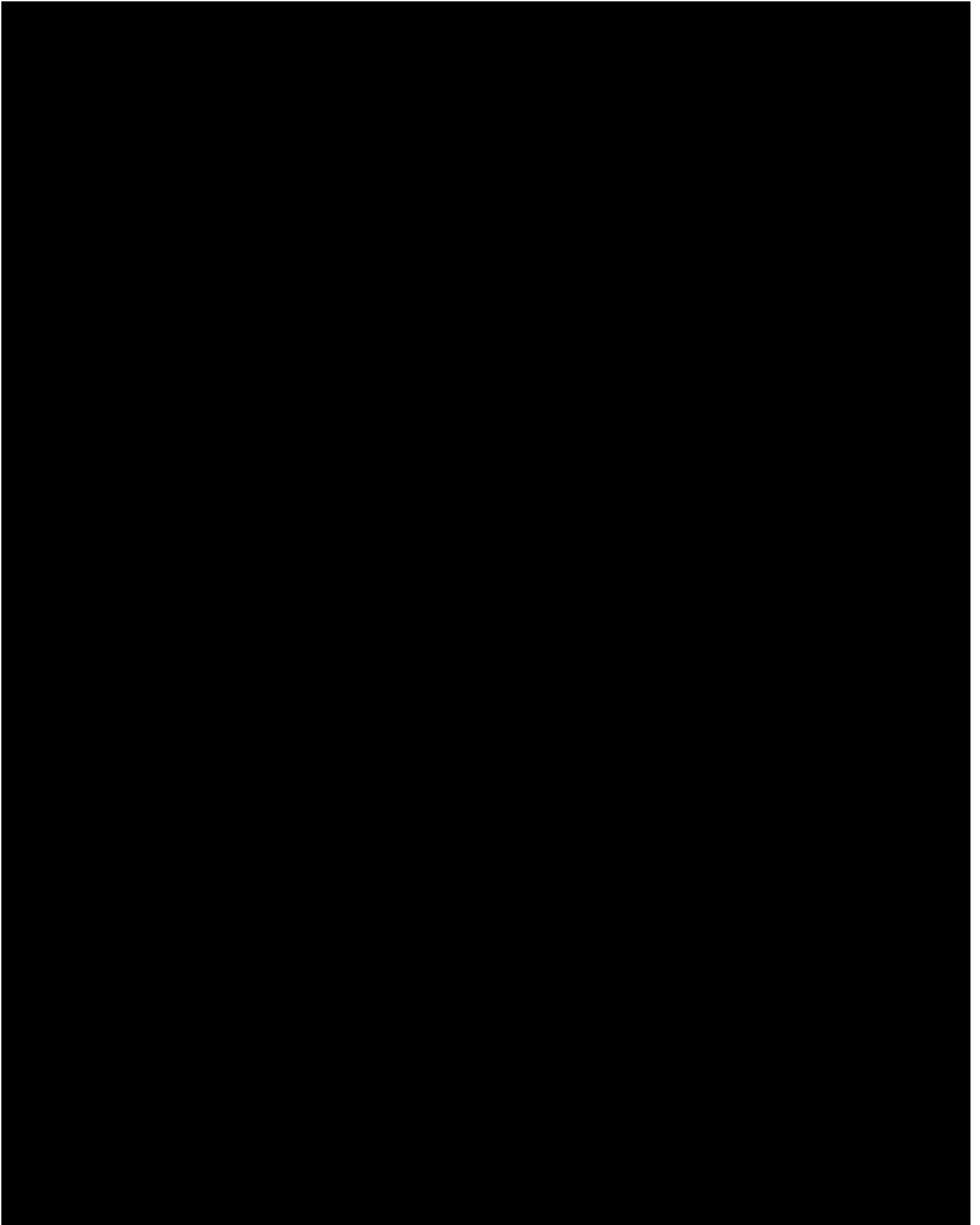


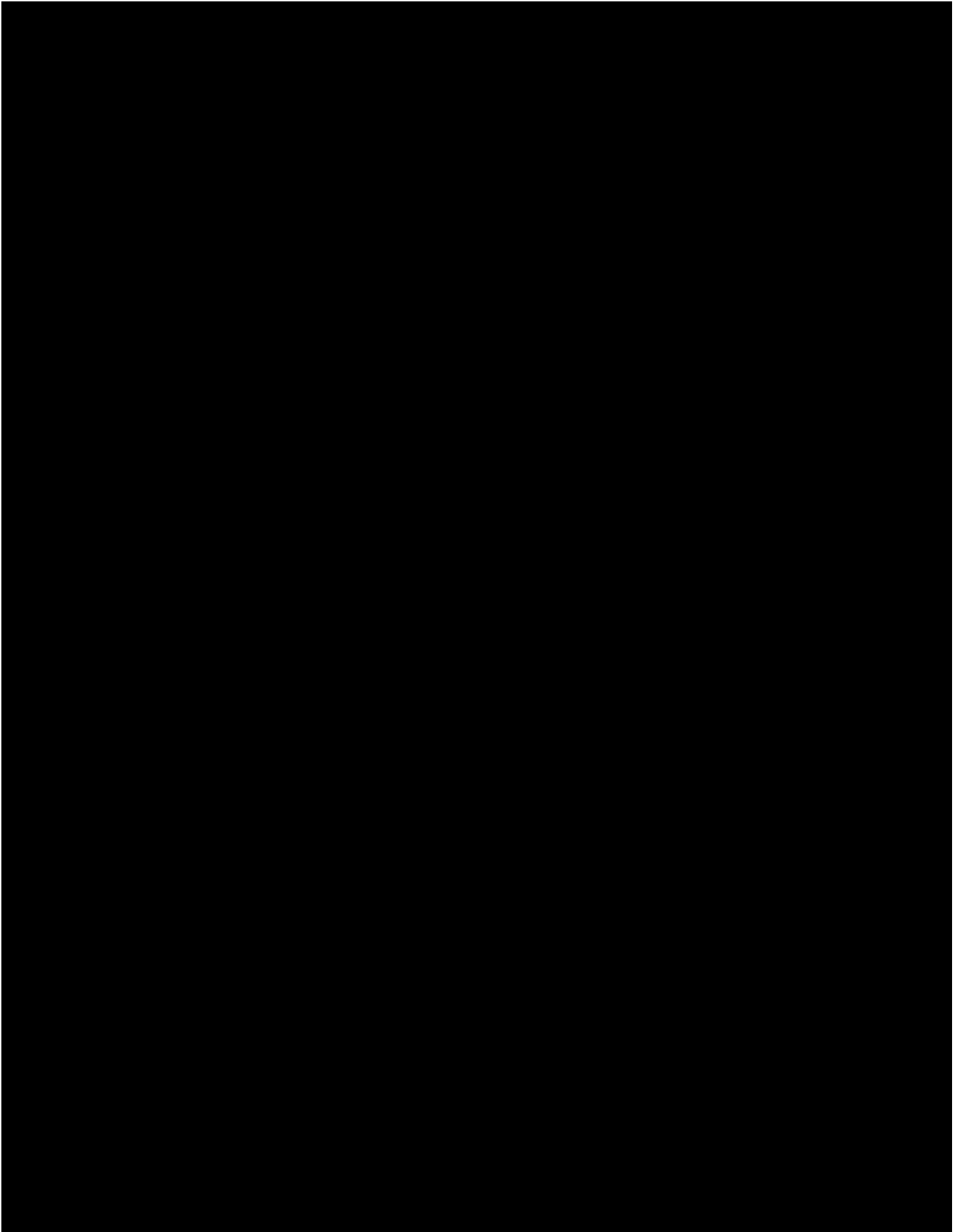


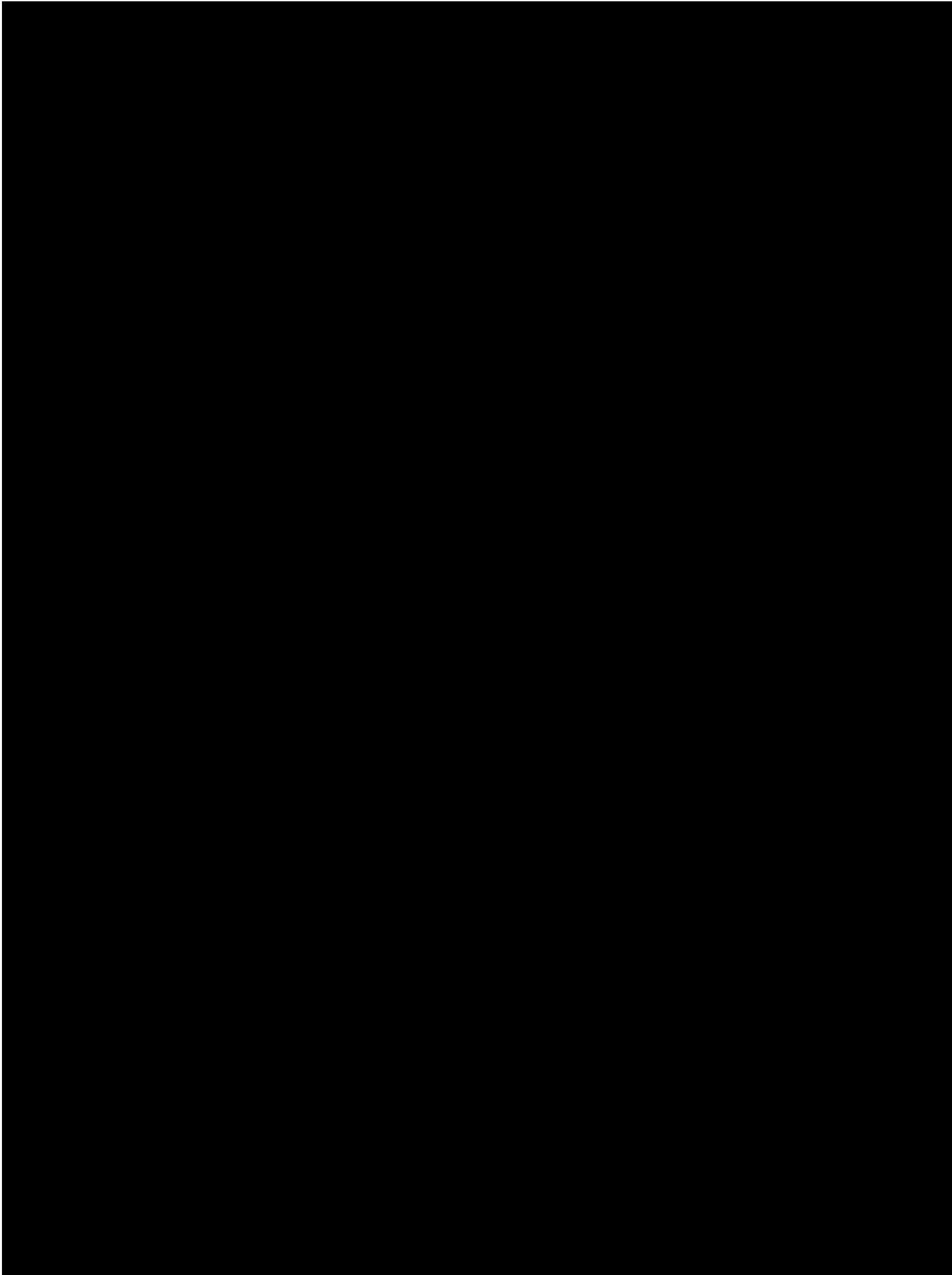


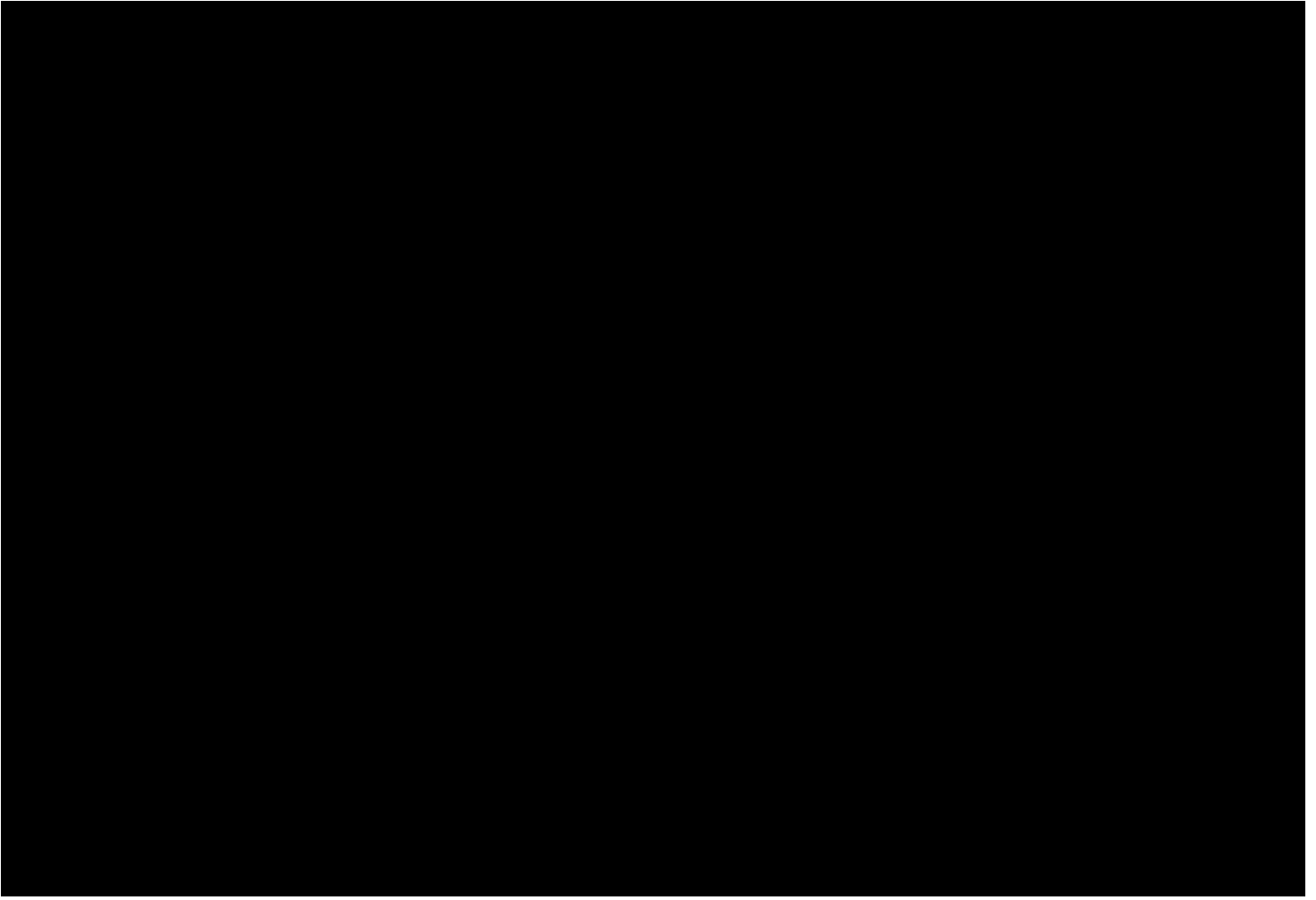












# Council

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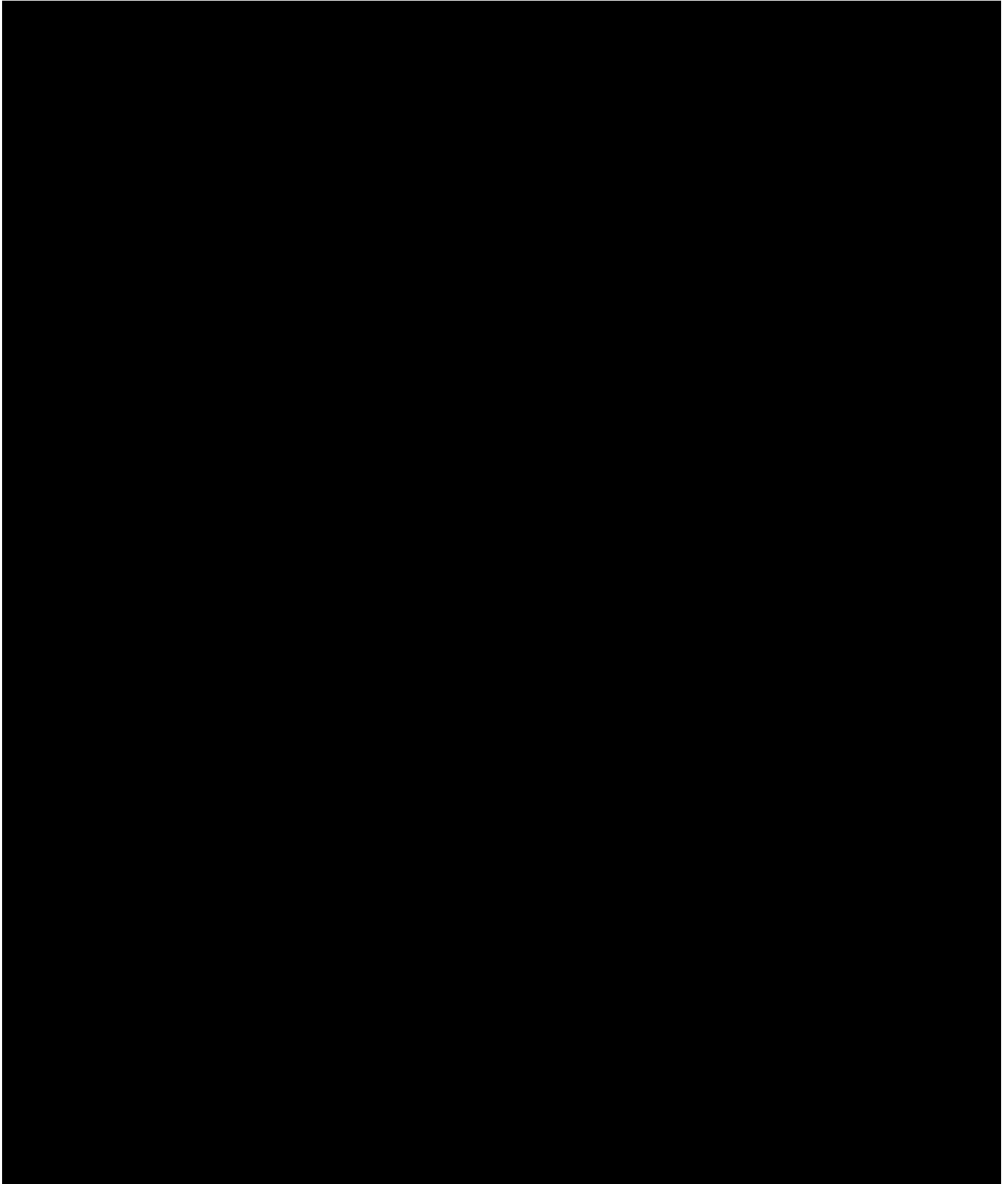
## ASSESSMENT for RESIDENTIAL SUBDIVISION

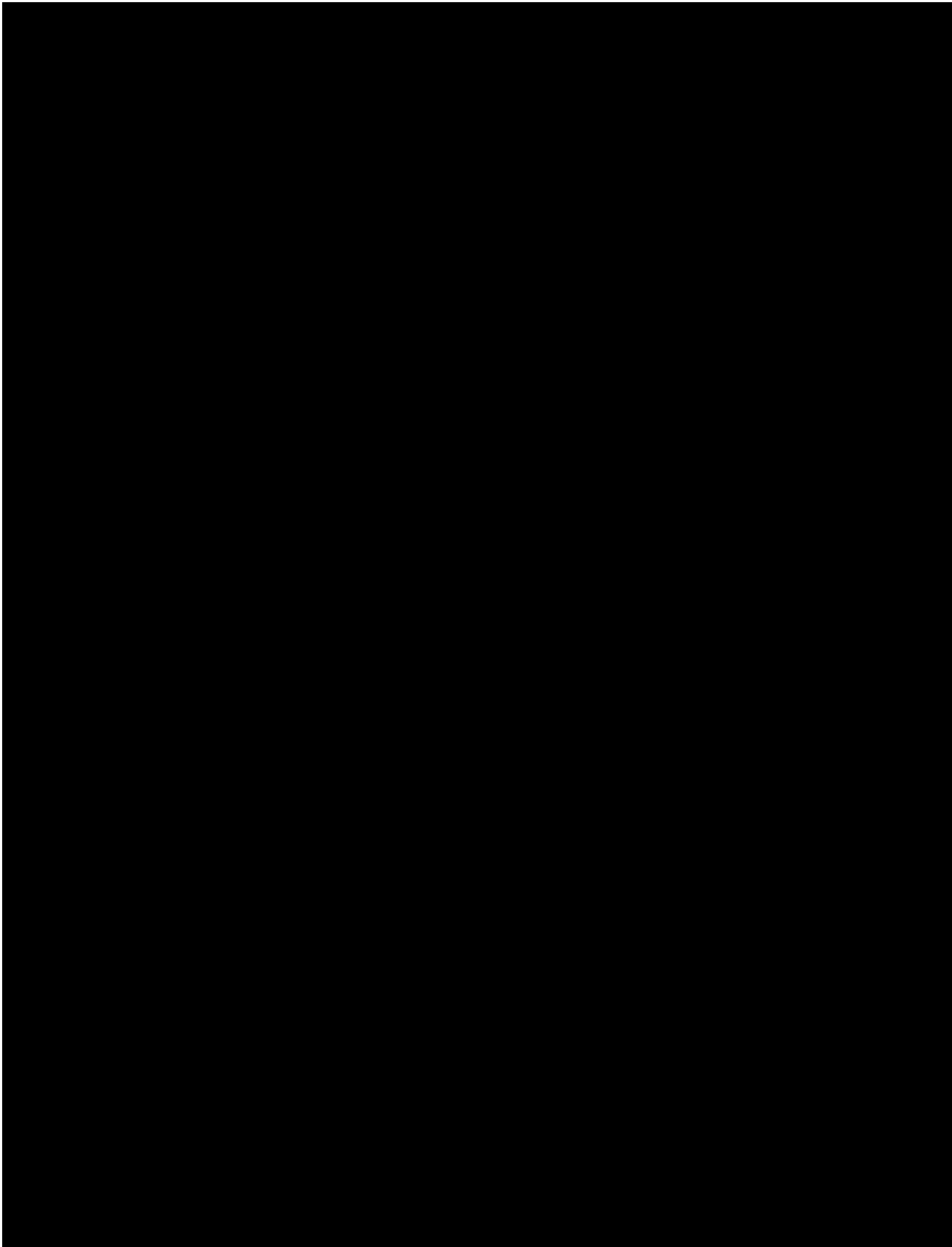
Application #:S2020-008

Date Received: April 24, 2020

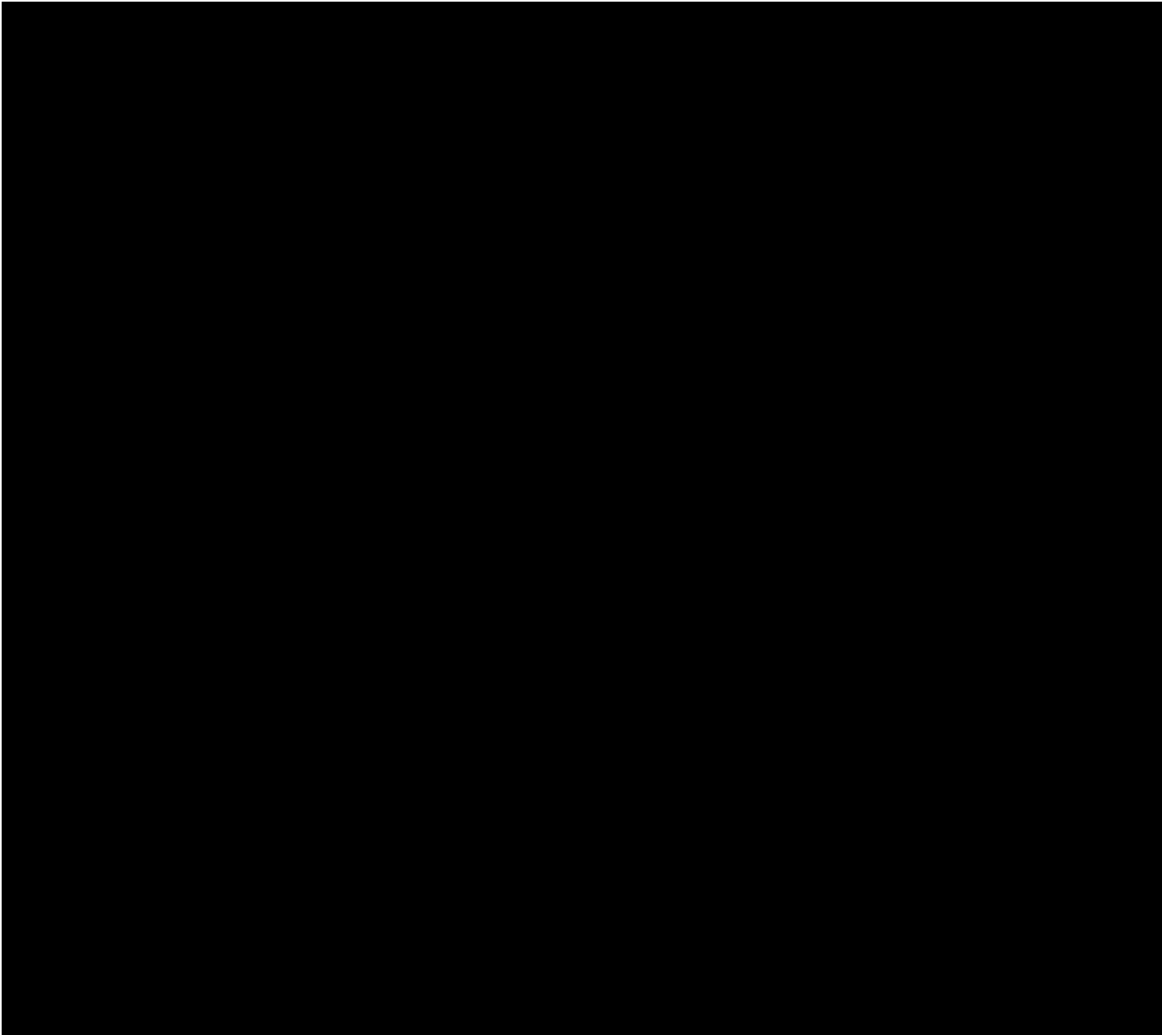


ATIPP Section 29.1





ATIPP Section 29.1



**TOWN OF PARADISE**

**To: Council**

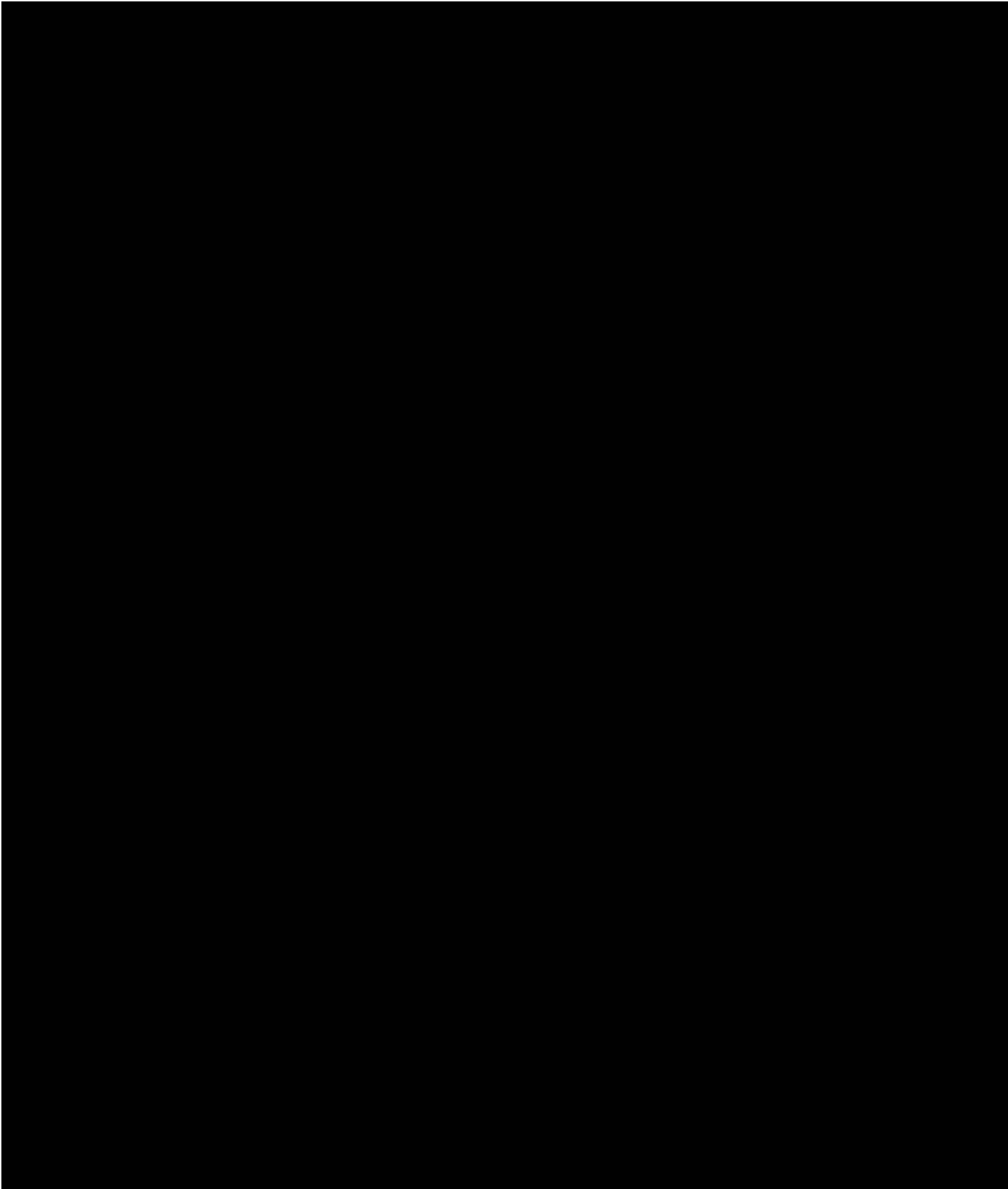
**From: Planning Committee**

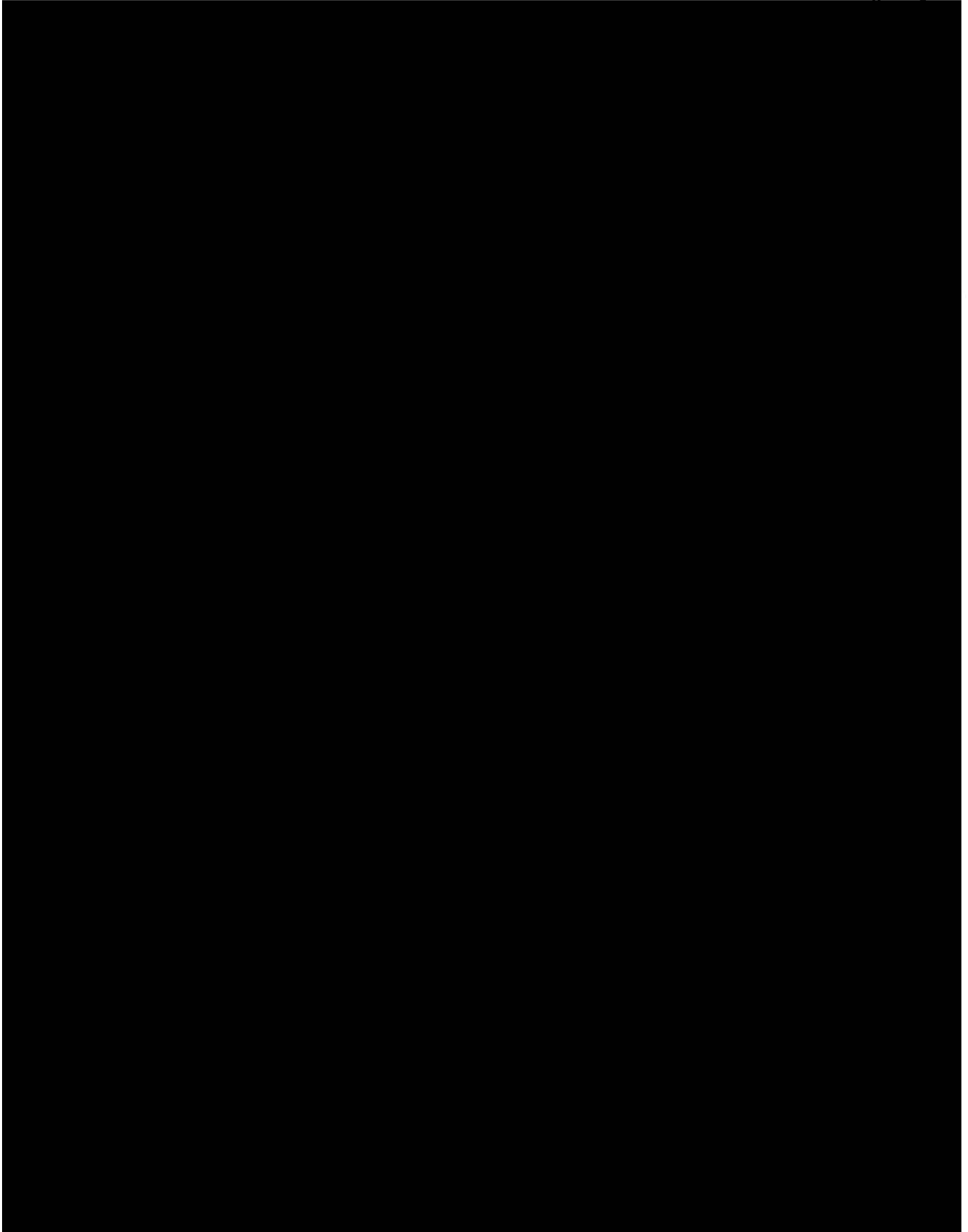
*ATIPP Section 29.1*

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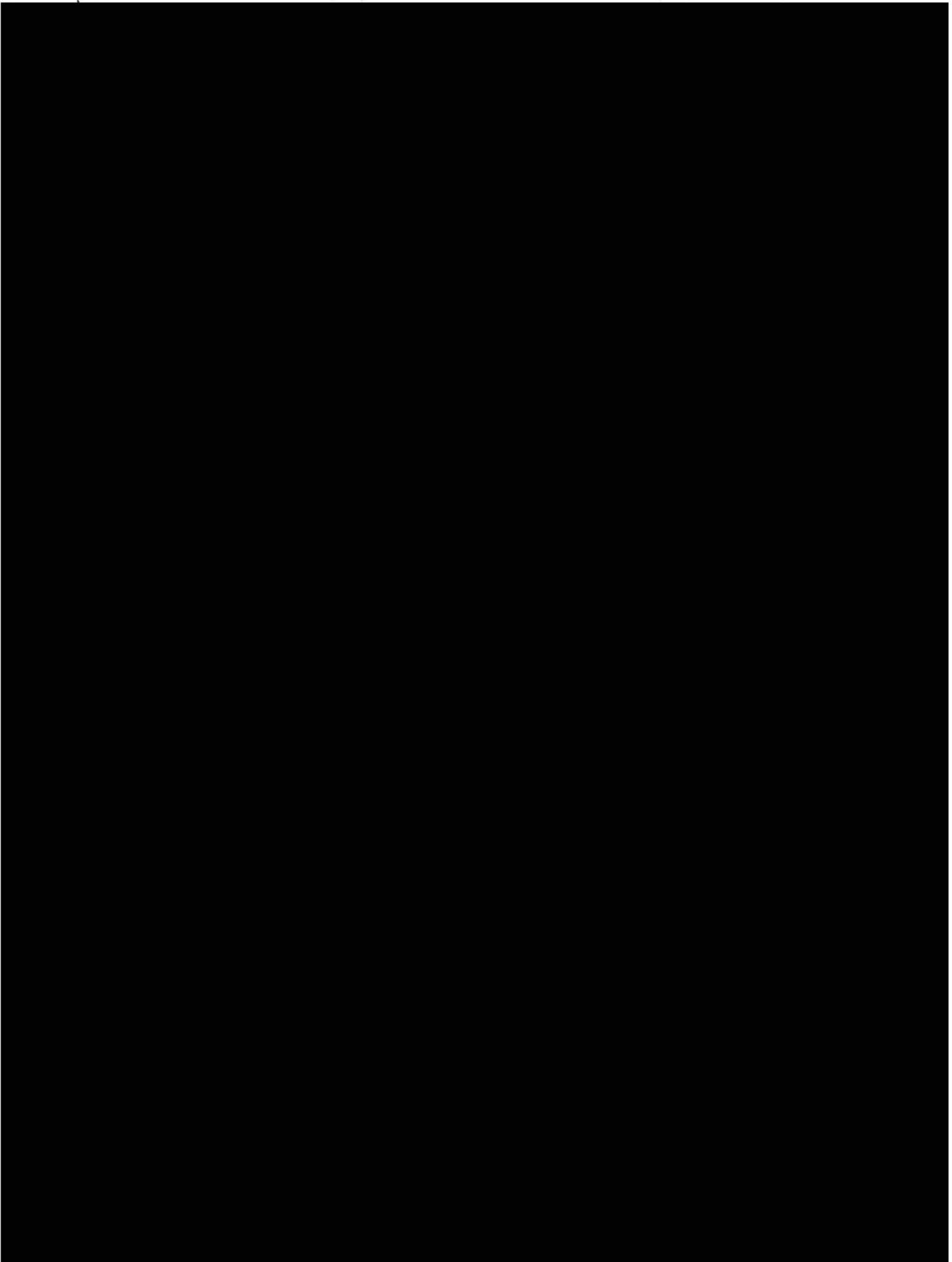
**RESIDENTIAL SUBDIVISION APPLICATION ASSESSMENT**





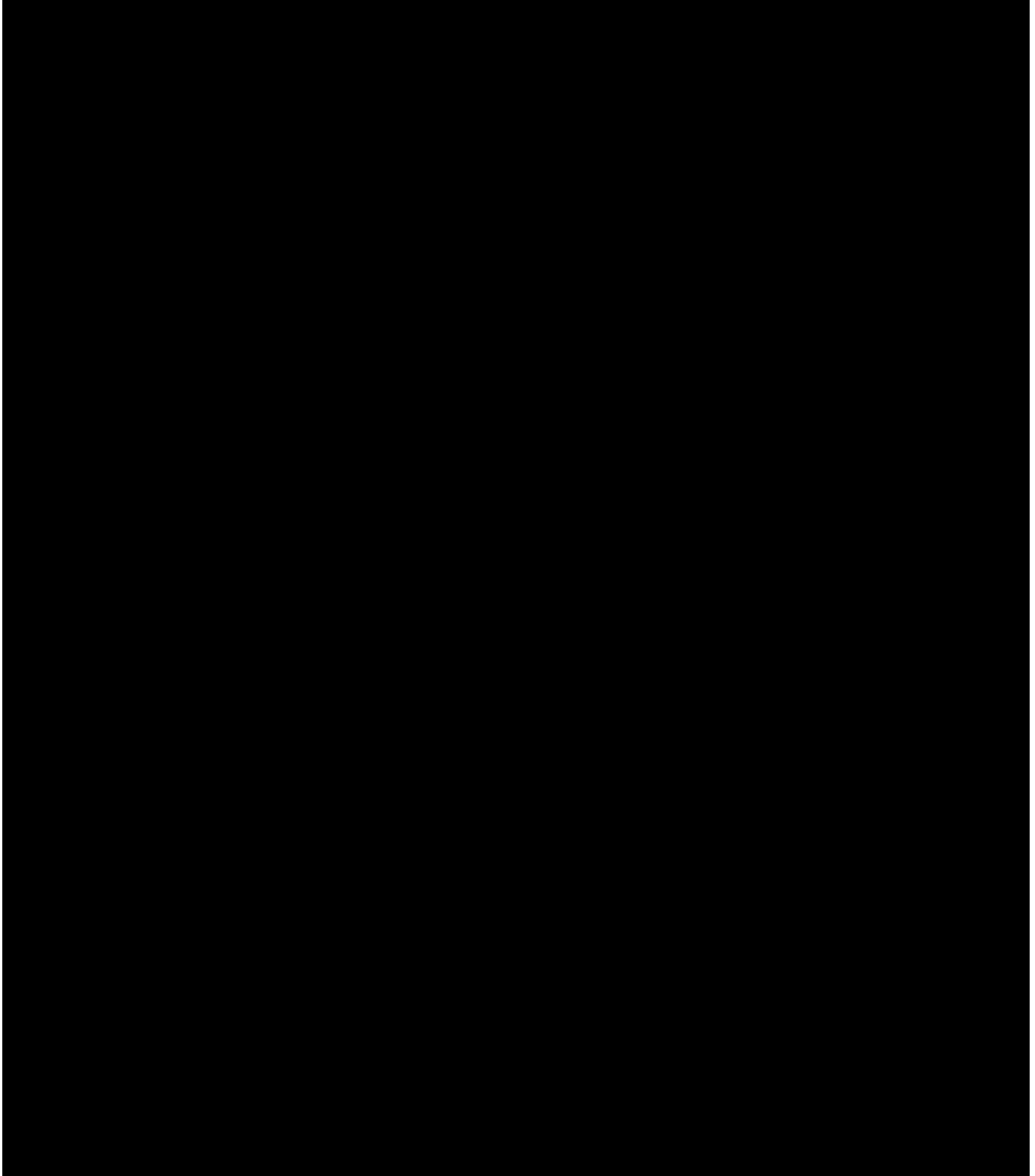


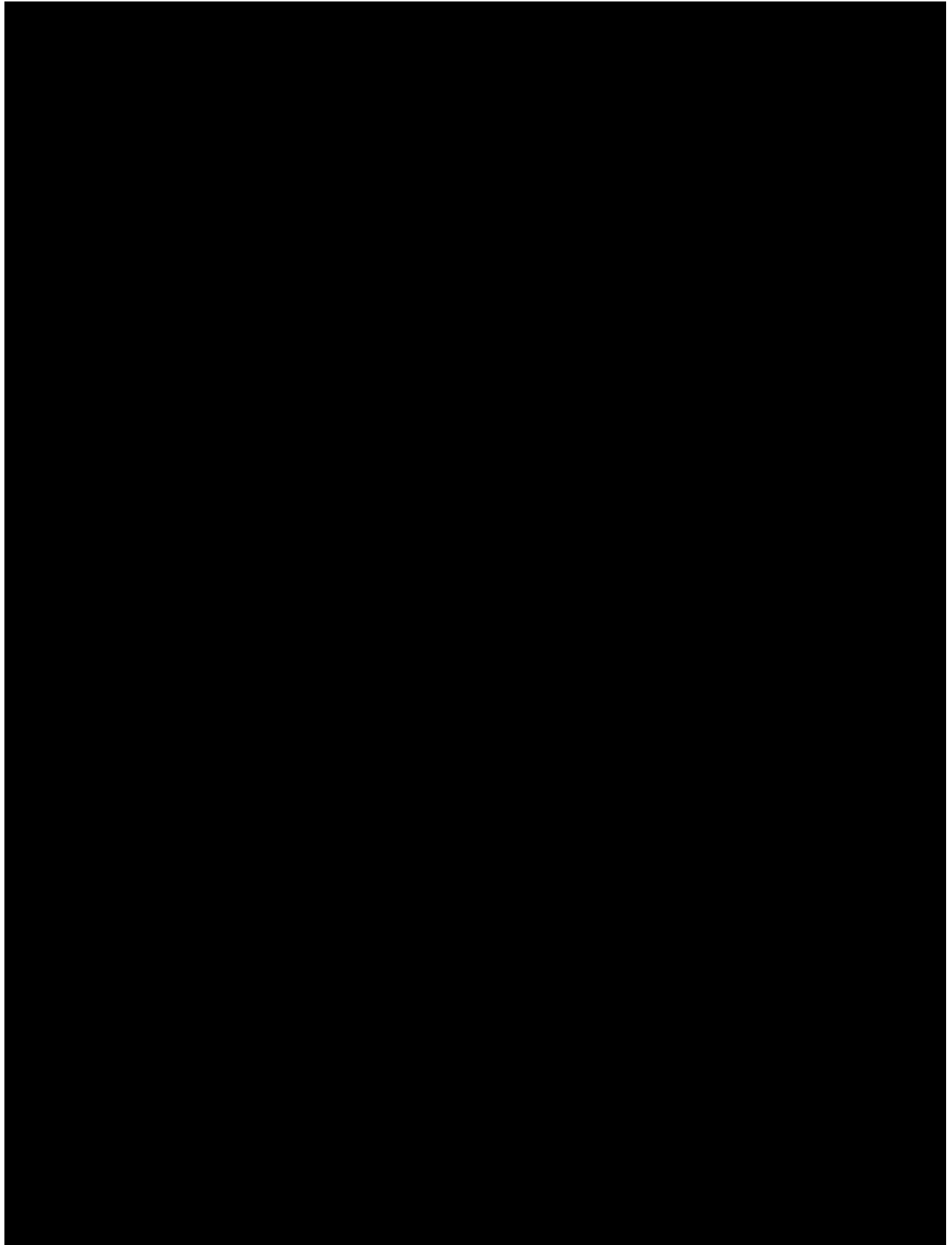
ATIPP Section 29.1

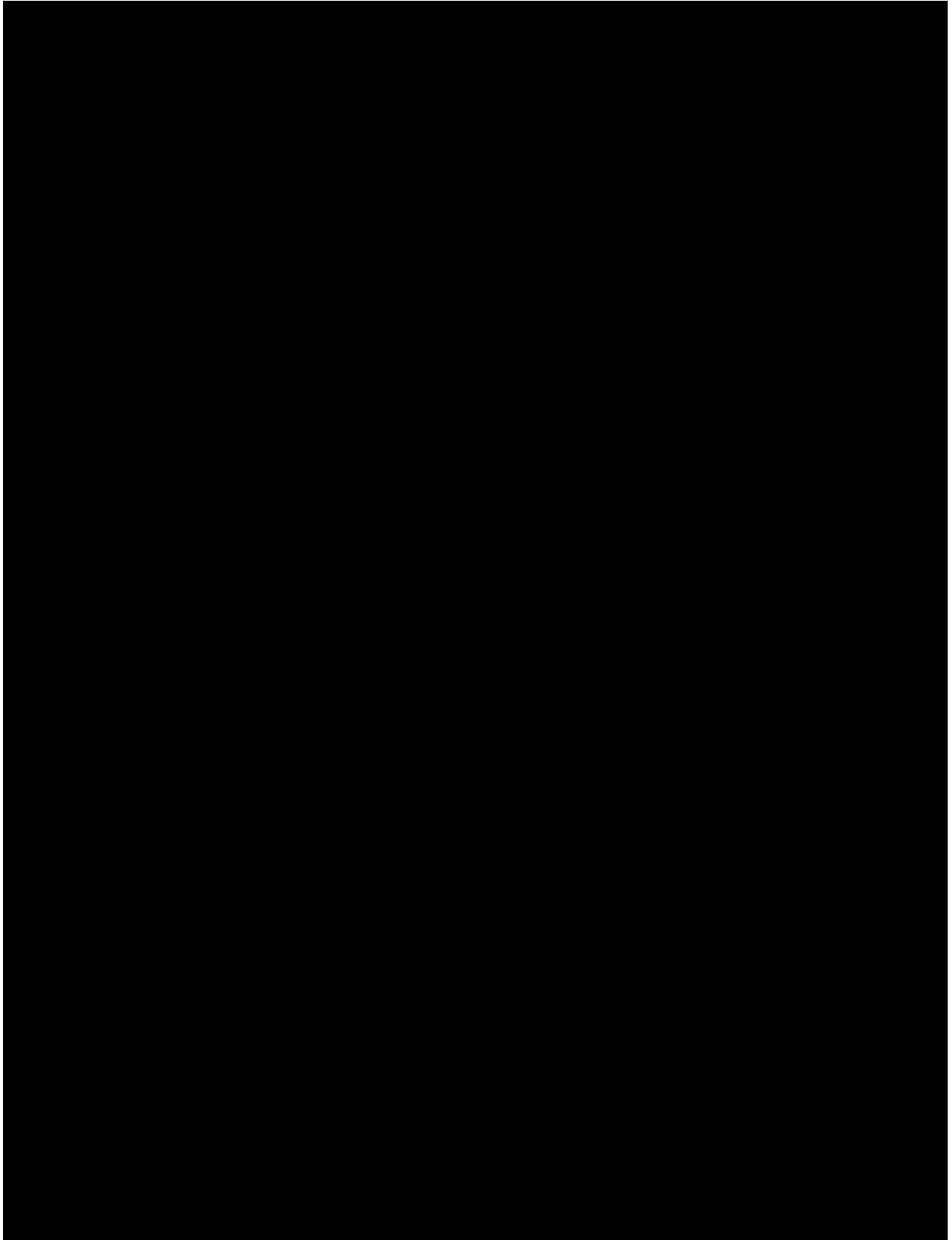


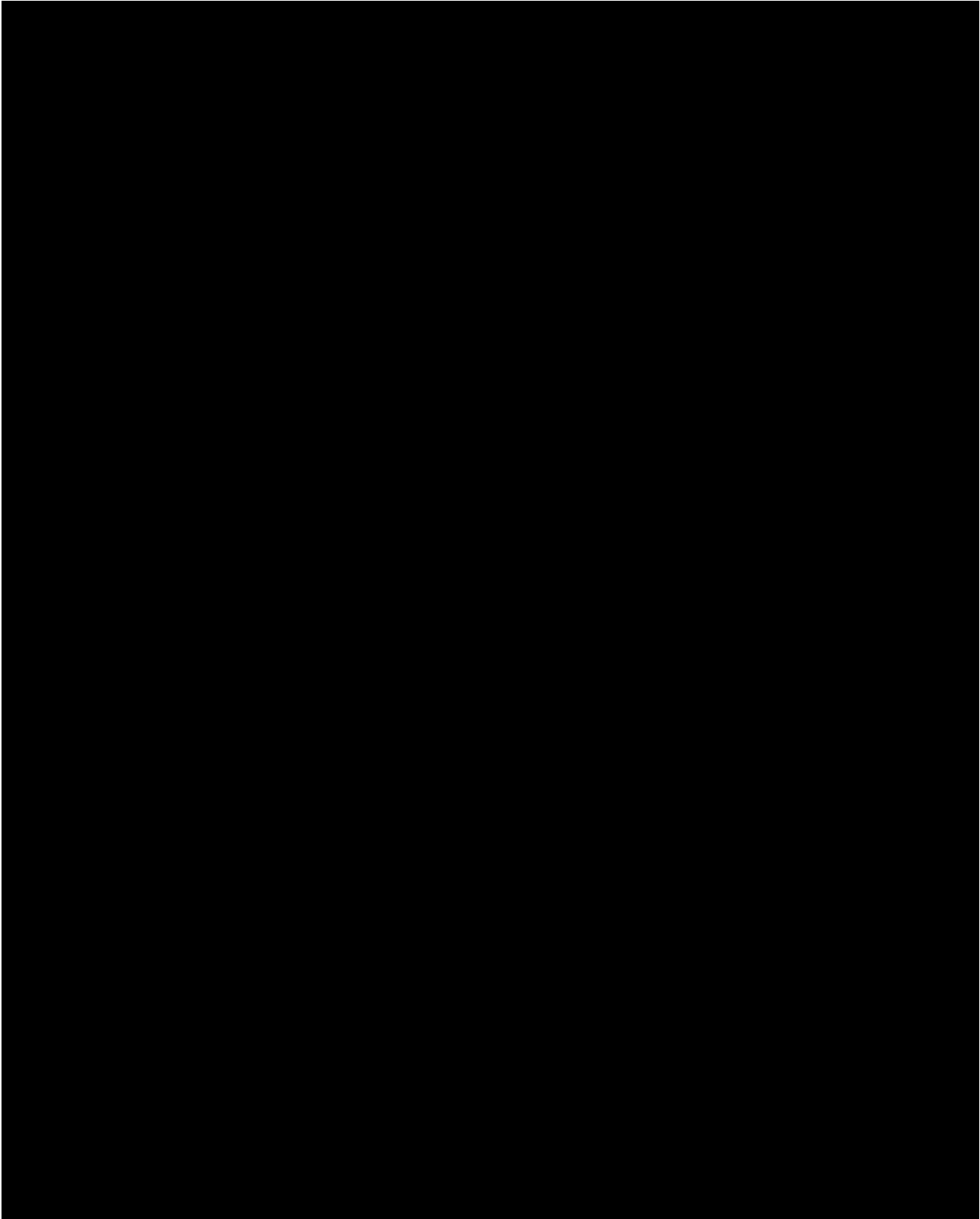
**PLANNING COMMITTEE MEETING  
THURSDAY, SEPTEMBER 13, 2012  
10:00 A.M.  
MINUTES**

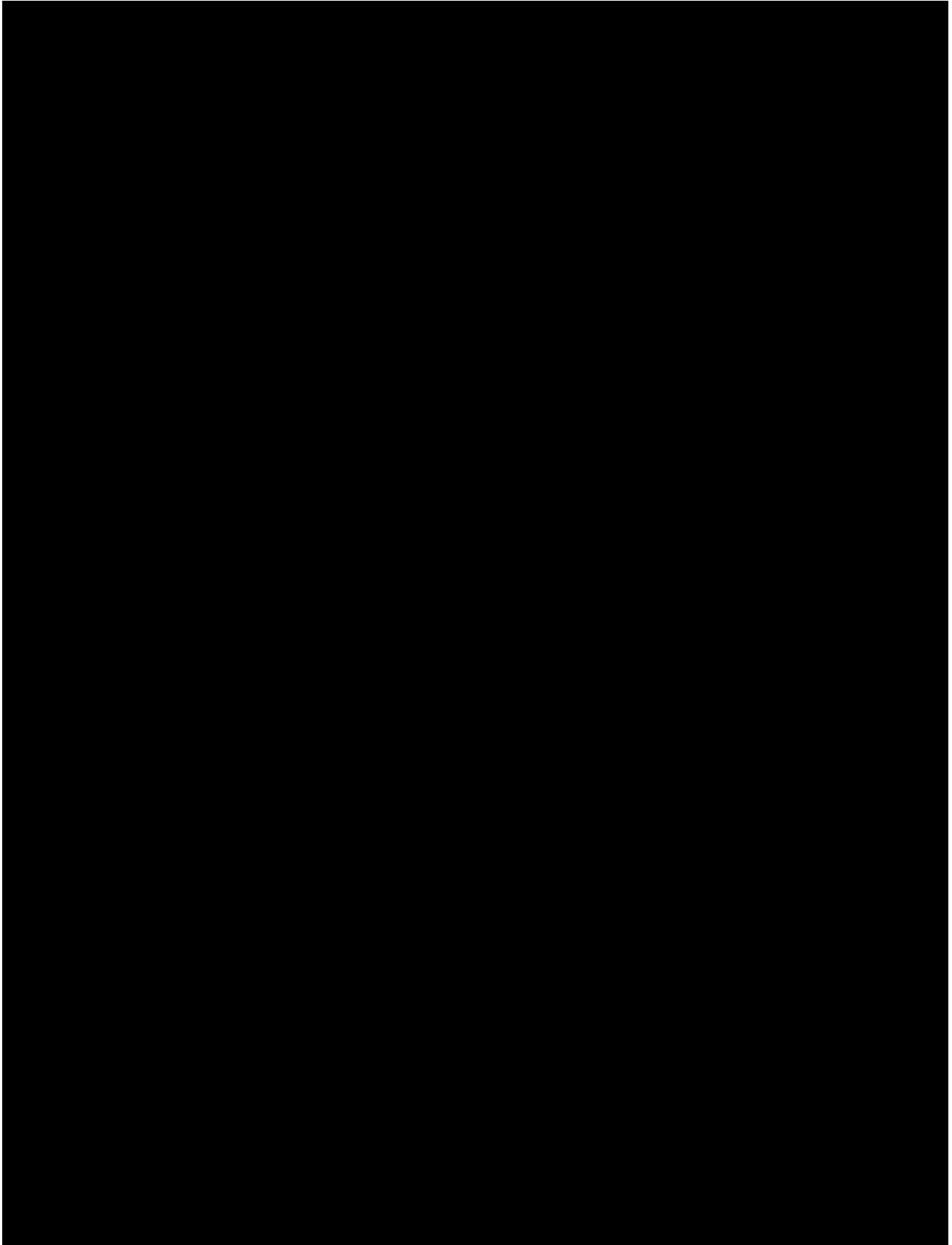
*ATIPP Section 28.1*













**TOWN OF PARADISE  
TOWN COUNCIL MEETING  
TUESDAY, SEPTEMBER 18, 2012  
TOWN HALL, PARADISE  
7:30 P.M.**

PRESENT:	Chairperson	Ralph Wiseman, Mayor
	Deputy Mayor	Allan English
	Councillor	Dan Bobbett
	Councillor	Vince Burton
	Councillor	Elizabeth Laurie
	Councillor	Deborah Quilty
	Councillor	Sterling Willis
	Chief Admin. Officer	Rodney Cumby
	Director of Corporate Services	Terrilynn Smith
	Director of Planning & Protective Services	Alton Glenn
	Director of Public Works & Engineering	Ron Fleming
	Director of Recreation & Leisure Services	Conrad Freake
	Executive Assistant	Marie Pretty
	Assistant Town Clerk	Barb Butler

ABSENT:

1. The meeting was called to order by Chairperson Wiseman at 7:45 p.m.

2. **ADOPTION OF THE MINUTES:**



**M12-208 Moved by Councillor Willis, seconded by Councillor Burton to adopt the Minutes of the September 4, 2012 Public Meeting.**

**Motion carried.**

3. **BUSINESS ARISING FROM THE MINUTES:**



1. Item 8.(2), Deputy Mayor English asked if any more equipment would be added to the playground on Spracklin Boulevard. The Director of Recreation & Leisure Services responded that the equipment that has been installed is what was planned for that playground.

4. **FINANCE DEPARTMENT:**



1. Accounts for Payment

**M12-209 Moved by Deputy Mayor English, seconded by Councillor Laurie that invoices in the amount of \$734,794.86 be approved for payment as submitted by the Director of Corporate Services.**

**Motion carried.**

5. **PERMITS:**



1. **M12-210 Moved by Councillor Willis, seconded by Councillor Laurie to approve application of Corey Grandy, DA12-0904, to construct a subsidiary apartment in Residential Low Density zone (RLD) at 65 Duff's Crescent subject to five (5) conditions.**

**Motion carried.**

Note: Deputy Mayor English voted against the above application.



2. **M12-211 Moved by Councillor Bobbett, seconded by Councillor Burton to reject application of Imperial Oil c/o Carl Brown, DA12-0918, to renovate existing drive-thru for a new Tim Horton's drive-thru location at 1316 Topsail Road for the following reason:**

**Section 10 (1) Discretionary Powers of Council, of the General Regulations:**

**10. Discretionary Powers of Council**

**(1) In considering an application for a permit or for approval in principle to carry out development, the Council shall take into account the policies expressed in the Municipal Plan and any further scheme, plan or regulations pursuant thereto, and shall assess the general appearance of the development of the area, the amenity of the surroundings, availability of utilities, public safety and convenience, and any other considerations which are, in its opinion, material, and notwithstanding the conformity of the application with the requirements of these Regulations, council may, in its discretion, and as a result of its consideration of the matters set out in this Regulation, conditionally approve or refuse the application.**

**Motion carried.**

5. **PERMITS:**



3. M12-212 Moved by Councillor Burton, seconded by Councillor Quilty to approve application of Stephanie Best, DA12-0968, to operate a home based business – Aesthetics at 75 Three Island Pond Road subject to thirteen (13) conditions.

Motion carried.



4. M12-213 Moved by Councillor Willis, seconded by Councillor Laurie to approve in principle application of Index Investments (Gerry Spracklin), DA12-0892, to develop a 5-lot subdivision at the end of Corcoran's Road subject to thirteen (13) conditions.

Motion carried.



5. M12-214 Moved by Deputy Mayor English, seconded by Councillor Willis to reject application of Karen Finlay, DA12-1018, to subdivide lot to create one additional lot at 1970 Topsail Road subject to the following reasons:

1. The proposed development is not in accordance with the Town of Paradise Municipal Plan & Development Regulations, 2004, specifically section 6 of the General Regulations: Compliance with Regulations, which states:

“Development shall be carried out in accordance with the Municipal Plan, these Regulations, and the conditions stated in a Permit to Develop”.

2. Section 92 of the General Regulations: Uses not Permitted, which states:

“Uses that do not fall within the Permitted Use Classes of Discretionary Use Classes set out in the appropriate Use Zone Tables in Schedule C shall not be permitted in that Use Zone”.

Motion carried.

6. **COMMITTEE REPORTS:**



1. M12-215 Moved by Deputy Mayor English, seconded by Councillor Burton.

“BE IT RESOLVED that the Town of Paradise hire a Policy Analyst for a period of 6 months to develop a standardized policy manual.”

Motion carried.

6. **COMMITTEE REPORTS:**



2. M12-216 Moved by Deputy Mayor English, seconded by Councillor Willis.

**“BE IT RESOLVED that the Town of Paradise submit a revised Capital Investment Plan for the approved Gas Tax Project #180-2012-2051, Storm Drainage Upgrade to Summit Drive and Ridgewood Drive in the amount of \$473,000.”**

**Motion carried.**



3. M12-217 Moved by Councillor Quilty, seconded by Deputy Mayor English.

**“BE IT RESOLVED that the Town of Paradise award the contract for the Carlisle Drive/Topsail Road Traffic Lights – CP1 to Infinity Construction Limited for the amount of \$128,863.61 (Engineering & Land Acquisition not included).”**

**Motion carried.**



4. M12-218 Moved by Councillor Quilty, seconded by Deputy Mayor English.

**“BE IT RESOLVED that the Town of Paradise donate \$50 to Chelsea Ash who will be representing the Town of Paradise in the Miss Newfoundland and Labrador Pageant to take place from September 21-23, 2012 in Harbour Grace.”**

**Motion carried.**



5. M12-219 Moved by Councillor Burton, seconded by Councillor Laurie.

**“BE IT RESOLVED that the Town of Paradise donate \$100 to the Canadian Cancer Society’s Run for the Cure on behalf of Debbie Newhook.”**

**Motion carried.**



6. M12-220 Moved by Councillor Laurie, seconded by Councillor Burton.

**“BE IT RESOLVED that the Town of Paradise purchase 8.805 m<sup>2</sup> of land from Wayne Murphy at #1325-1331 Topsail Road at a cost of \$1000.00 with four conditions.”**

**Motion carried.**

6. **COMMITTEE REPORTS:**



7. M12-221 Moved by Councillor Laurie, seconded by Councillor Bobbett.

**“BE IT RESOLVED that the Town of Paradise donate \$50 to Kandice Power who will be representing the Town of Paradise in the Miss Achievement Newfoundland and Labrador Scholarship Pageant to take place November 1-4, 2012 in St. John’s.”**

**Motion carried.**



8. M12-222 Moved by Councillor Bobbett, seconded by Councillor Burton.

**“BE IT RESOLVED that the Town of Paradise approves special rental of the gymnasium at the Rotary Paradise Youth and Community Centre on Saturday, October 27, 2012 and Monday, December 31, 2012 to the 30+ Club. This is a one-time agreement and a further decision on the use of the gym will be determined following the events.”**

**Motion carried.**



9. M12-223 Moved by Councillor Willis, seconded by Councillor Burton.

**“BE IT RESOLVED that the Town of Paradise approves a reduced rate for the 30+ Club Dart League for one year and will revisit it again in the Fall of 2013.”**

**Motion carried.**



10. M12-224 Moved by Councillor Willis, seconded by Councillor Laurie.

**“BE IT RESOLVED that the Council of the Town of Paradise waives the \$6000 connection fee and the requirement to install curb for the property located at 55 Milton Road as it has been determined that the lot is an infill lot in an area of Milton Road serviced by Donovan Homes and not the Town.”**

**Motion carried.**

7. **NEW/UNFINISHED BUSINESS:**



1. Councillor Bobbett stated that Saturday, September 22, 2012 will be MMSB Residential Used Tires Collection Day from 8:00 am – 4:00 pm at the Rotary Paradise Youth & Community Centre parking lot.

7. **NEW/UNFINISHED BUSINESS:**



2. Councillor Bobbett stated that the Red Shoe Crew Walk for Families will be held at Octagon Pond on Sunday, September 23, 2012. This walk is hosted by Ronald McDonald House Newfoundland and Labrador and will raise awareness and funds to provide a home away from home for sick children and their families.



3. Councillor Willis stated that there will be a meeting of the Northeast Avalon Joint Councils on September 19, 2012 in Portugal Cove-St. Philips and invited Council to attend.



4. Mayor Wiseman reported that the restoration of the Steele Mill Property has been approved by Municipal Affairs and approval has also been given to water & sewer installation for Squire's Road and Lawlor's Road.

Mayor Wiseman stated that a news conference is scheduled at the Town Hall tomorrow and the Minister of Municipal Affairs will be coming in to announce more funding.



5. Deputy Mayor English asked the Director of Planning & Protective Services to have staff follow up with the developer of Woodstock Gardens Subdivision in regards to installing street lights in the area of Sedgewick Street and Brittany Drive.



6. Deputy Mayor English asked the Director of Planning & Protective Services to contact the developer of Island View Estates regarding the lack of toilet facilities for the workers.



7. Deputy Mayor English asked the Director of Planning & Protective Services to have staff follow up on items to be completed at Island View Estates, i.e. sidewalk on Atlantica Street and remediation work around the stream.



8. Deputy Mayor English asked if staff was addressing the concerns of a property owner adjacent to Island View Estates. The Director of Planning & Protective Services responded that staff is in the process of determining who is responsible for the encroachment onto the adjacent owner's property.



9. Councillor Quilty inquired about the widening and paving of Paradise Road. The Director of Public Works & Engineering responded that it has gone to tender.

7. **NEW/UNFINISHED BUSINESS:**



10. Councillor Quilty asked to have renovations to St. Thomas Community Centre referred to the Recreation Committee.



11. Councillor Quilty inquired about the turning lane being installed on Topsail Road in front of McDonald's Restaurant. Mayor Wiseman responded that he will speak to the Minister and MHA's about the need to have the turning lane on Topsail Road continue up to the lights on Carlisle Drive, as per the original drawings, in order to improve the traffic flow.

8. **M12-225 Moved by Councillor Willis, seconded by Councillor Quilty to adjourn the meeting at 8:06 p.m.**

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Ralph Wiseman, Mayor

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Terrilynn Smith, Town Clerk



**Town of Paradise**  
**Public Council Meeting Minutes**

**July 7, 2020, 6:00 p.m.**  
**Virtual Meeting**

Council Present: Dan Bobbett, Chair Person  
Elizabeth Laurie, Deputy Mayor  
Allan English, Councillor  
Patrick Martin, Councillor  
Kimberley Street, Councillor  
Sterling Willis, Councillor

Council Absent Deborah Quilty, Councillor

Staff Present: Lisa Niblock, CAO  
Conrad Freake, Director, Recreation & Community Services  
Alton Glenn, Director, Planning & Protective Services  
Chris Milley, Director, Infrastructure & Public Works  
Terrilynn Smith, Director, Corporate Services  
Angelina Richards, Administrative Assistant  
Diane Keough, Manager of Communications  
Lana Roberts, Administrative Assistant

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**1. Calling of Meeting to Order**

The meeting was called to order by Mayor Bobbett at 6:00 pm.

**2. Safety Moment**

Mayor Bobbett shared a safety moment with Council and residents.

**3. Proclamation**

a. Pride Week

Mayor Bobbett read a proclamation proclaiming July 10-19, 2020 as Pride Week in the Town of Paradise.

**4. Adoption of Agenda and Minutes**

a. Adoption of Agenda

**Resolution No. M20-136**

**Moved by** Deputy Mayor Laurie

**Seconded by** Councillor Martin

**To adopt the Agenda for the July 7, 2020 Public Meeting.**

**Motion Carried Unanimously**

b. Adoption of Minutes

Deputy Mayor Laurie asked for permission to abstain from voting on the minutes as she was not in attendance for the June 16, 2020 Council meeting.

**Resolution No. M20-137**

**Moved by** Councillor Martin

**Seconded by** Councillor Willis

**To grant permission to Deputy Mayor Laurie to abstain from voting on the adoption of the Minutes of the June 16, 2020 Public Meeting.**

**Motion Carried Unanimously**

**Resolution No. M20-138**

**Moved by** Councillor Willis

**Seconded by** Councillor Street

**To adopt the Minutes of the June 16, 2020 Public Meeting.**

**Motion Carried Unanimously**

**5. Business Arising from the Minutes**

There was no business arising from the minutes.

**6. Planning and Protective Services Committee**

Councillor Willis, Chair; Councillor English & Councillor Street

a. Permits

- a. 284 Three Island Pond Road and Stoke's Road

**Resolution No. M20-139**

**Moved by** Deputy Mayor Laurie

**Seconded by** Councillor Willis

To approve the Approval in Principle for a four lot un-serviced infill subdivision at 284 Three Island Pond Road and Stoke's Road subject to twelve (12) conditions.

**Motion Carried Unanimously**

b. Memos

- a. Corcoran's Road

**Resolution No. M20-140**

**Moved by** Councillor Willis

**Seconded by** Councillor Street

**Be it resolved that Council ratify the decision made via an email poll of Council of June 30, 2020 to grant approval of Application #S2020-008.**

**Motion Carried Unanimously**

- b. Text Amendment to Rural Residential Zone

**Resolution No. M20-141**

**Moved by** Councillor Willis

**Seconded by** Deputy Mayor Laurie

**Be it resolved that the Town of Paradise adopt Development Regulation Amendment 5, 2020, as presented.**

**Motion Carried Unanimously**

- c. Text Amendment to Signage Regulations

**Resolution No. M20-142**

**Moved by** Councillor Willis

**Seconded by** Deputy Mayor Laurie

**Be it resolved that the Town of Paradise proceed with public consultation in accordance with Section 14 of the Urban and Rural Planning Act, 2000 for the proposed text amendments to section 7, Signage, of the 2016 Paradise Development Regulations.**

**Motion Carried Unanimously**

- d. Disposition of Municipal Land

**Resolution No. M20-143**

**Moved by** Councillor Willis

**Seconded by** Deputy Mayor Laurie

**Be it resolved that Council ratify the decision made via an email poll of Council on June 30, 2020 to dispose of land situated at 1641 Topsail Road to ALRE Properties Inc.**

**Motion Carried Unanimously**

- e. Emergency Building Inspections Policy

**Resolution No. M20-144**

**Moved by** Councillor Willis

**Seconded by** Councillor Street

**Be It resolved that Paradise Town Council adopt draft policy PPS-011, also known as the Emergency and Crisis Building Inspections Requirements Policy.**

**Motion Carried Unanimously**

c. Orders

a. 33 Acharya Drive

**Resolution No. M20-145**

**Moved by** Councillor Willis

**Seconded by** Deputy Mayor Laurie

To confirm an order concerning dilapidated vehicles, garbage, property maintenance and miscellaneous debris at 33 Acharya Drive in contravention of the Town of Paradise Development Regulations, 2016.

**Motion Carried Unanimously**

**7. Corporate Services Committee**

Deputy Mayor Laurie, Chair; Councillor Quilty & Councillor Willis

There were no reports for this meeting.

**8. Infrastructure and Public Works Committee**

Councillor Quilty, Chair; Councillor English & Councillor Martin

There were no reports for this meeting.

**9. Recreation and Community Services Committee**

Councillor Martin, Chair; Deputy Mayor Laurie & Councillor Street

a. Drive-In Movie

**Resolution No. M20-146**

**Moved by** Councillor Martin

**Seconded by** Deputy Mayor Laurie

**Be it so resolved that Council ratify the email poll from June 24th, 2020 that the Town of Paradise approve to move forward with hosting a Drive-in Movie that will take place at Paradise Park at a rate of \$5000 per movie for a total of 5 events.**

**Motion Carried Unanimously**

b. Tilting Place

**Resolution No. M20-147**

**Moved by** Councillor Martin

**Seconded by** Deputy Mayor Laurie

**Be it so resolved that the Town of Paradise enter into negotiations to form a Prime Consultant Agreement with Mills & Wright Landscape Architecture for Tilting Place Lookout Design-Build for the amount of \$195,960 HST included.**

**Motion Carried Unanimously**

**10. New/Unfinished Business**

a. Department of Corporate Services

- Deputy Mayor Laurie provided an update from the Department of Corporate Services.

In March the Town offered the deferral of all residential, commercial and business tax payments and waived all interest to the end of June. Council would like to remind everyone that tax payments are now due and interest will be applied to outstanding balances effective July 1, 2020.

If you were on a pre-authorized payment plan and elected to have your payments deferred for 3 months, beginning July 15, the pre-authorized payments will again be withdrawn monthly from your bank account. The tax account balance at June 30 will be divided over 6 equal payments and the withdrawal date will be the 15<sup>th</sup> of each month (or the next business day) ending on December 15<sup>th</sup>.

Further to this, Businesses have the option to apply for an extended payment plan for their 2020 business taxes only with no interest charged. In order to avail of this option, businesses must submit an application to arrange a pre-authorized payment plan. The 2020 business taxes will be paid over 12 equal payments beginning January 1, 2021. The application form can be found on the Town's website at [www.paradise.ca](http://www.paradise.ca)

If anyone has any questions, please call 782-1400, or email [deferredtaxes@paradise.ca](mailto:deferredtaxes@paradise.ca).

- Deputy Mayor Laurie expressed appreciation to Town Staff for doing such a great job working through the pandemic. Also, she thanked the residents for their patience as everyone works together throughout this difficult time.
- Deputy Mayor Laurie expressed her appreciation to resident Danielle LeClerc who started a Facebook page called Reading with Ms. Dani at the beginning of the pandemic and continues to share stories with children on a regular basis.
- Deputy Mayor Laurie expressed appreciation to Council and Staff for their condolences on the loss of her Mom. She also thanked the residents that reached out.

b. Department of Infrastructure and Public Works

- Councillor Martin provided an update from the Department of Infrastructure and Public Works.
  - Paradise Road Upgrading Phase 4 & STL/Paradise Road Intersection  
This work is currently being prepared for tender. Tender is expected by mid July 2020.
  - 2020 Street Rehab  
The tender was issued and is closing on July 16, 2020.
  - Topsail Road/Carlisle Drive Traffic Loops  
The loops have been ordered and it is expected that work will be completed in July, 2020.
  - McNamara Drive Sanitary Sewer Upgrade Phase 3  
The tender was issued and is closing on July 14, 2020.
  - Lanark Drive Sanitary Sewer & Paradise Road Phase 3  
An unexpected delay in the contractors return occurred. They are expected to return to site this week to finish site reinstatement, complete deficiencies, and finish surface course asphalt.

- Clearview Heights Upgrading

The Consultant is arranging a date with Newfoundland Power for pole relocation. The Contractor will return to site once poles are relocated.

- Roundabout at Topsail Road/McNamara Drive/Clearview Heights

Additional work including the railing on the retaining wall and centre island landscaping to be completed in the coming weeks. The landscape and centre island feature is currently being designed.

- Solar Lights for Paradise Park

The quotes for the lights are currently being obtained.

c. Department of Planning and Protective Services

- Councillor Willis provided an update from the Department of Planning and Protective Services.

Recognizing the challenges and issues businesses are facing due to the current COVID-19 pandemic, the Town of Paradise implemented a Business Support Plan. The Plan is a three-pronged approach which included an Infrastructure Fee reduction, a 2020 Tax Payment Plan as well as support for our local Chambers of Commerce. There have been 23 permits that qualified for the Infrastructure Tax reduction, which equals \$11,500 in cost savings combined for the applicants.

Also, at the present time, there are 5 businesses who have signed up for the 2020 Tax Payment Plan into 2021, accounting for approximately \$221,000 in deferred business tax revenue.

Finally, 13 businesses have joined the Mount Pearl Paradise Chamber of Commerce for this year and 3 businesses have joined the Conception Bay Area Chamber of Commerce. Total value of these memberships is approximately \$2,600.

d. Department of Recreation and Community Services

- Councillor Martin provided an update from the Department of Recreation and Community Services.

The Town has been diligently working with sporting associations in an effort to ensure a safe return to play for All. We are happy to welcome all sporting groups back to the fields and are excited for their return.

The town apologizes for the delay and wishes all groups a safe and successful season.

- Councillor Martin asked staff for an update on the maintenance of the playgrounds throughout the Town. CAO Niblock responded that staff are working through maintaining the parks geographically so that there are some opened in various parts of the Town.

e. Other

- Councillor Street expressed her appreciation to the sporting associations for their understanding and close working relationship with the Town to ensure everyone remains safe. She wishes everyone an enjoyable season.
- Councillor Street requested that the Strategic Plan that was adopted earlier this year be posted to the Town website. It is a great document and a living document for the next few years and it would be beneficial for the residents to be able to have access.
- Councillor Street informed Council that she reviewed the 2017 Water Master Plan and asked if staff could review installing in line booster pump in the houses in Elizabeth Park with low water pressure. Mayor Bobbett responded that this would have to be reviewed by the Infrastructure and Public Works Committee.
- Councillor English informed Council that he has received inquiries about the maintenance of the playgrounds and advised the concerned residents that staff are working towards maintaining them all for opening on a priority basis.
- Councillor English reviewed the 2017 Water Master Plan and has received concerns from residents in the Elizabeth Park area with low water pressure. Councillor English emphasized that Council needs to be very careful when approving development going forward due to these issues.
- Councillor English indicated that he has received a number of other complaints including an issue on Canterbury Drive, Fire Pits, Nicholas Place and Christopher Street and will forward them to the applicable committees for discussion.

**11. Adjournment**

**Resolution No. M20-147**

**Moved by** Deputy Mayor Laurie

**Seconded by** Councillor Willis

To adjourn the meeting at 7:06 pm

**Motion Carried Unanimously**

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Dan Bobbett, Mayor

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Terrilynn Smith, Town Clerk