



November 28, 2025

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Re: **Your request for access to information under Part II of the Access to Information and Protection of Privacy Act, 2015 [Our File # 2025-15]**

On November 14, 2025, the Town of Paradise received your request for access to the following records/information:

I would like to formally request the approved water drainage and grading plan for the residential extension project on Gallants street, Paradise.

A municipal water drainage and grading plan is a required blueprint for development projects that outlines how the land will be shaped (grading) to control and direct surface water run off (drainage) away from preexisting structures and properties into an approved municipal system, preventing flooding and erosion.

I wish to receive the entire water drainage and grading plan for the Gallants street residential extension project in Paradise via email

I am pleased to inform you that a decision has been made by the ATIPP Coordinator for the Town of Paradise to provide access to the requested information. In accordance with your request for a copy of the records, the appropriate copies have been enclosed.

The Access to Information and Protection of Privacy Act, 2015 (the "Act") requires us to provide an advisory response within 10 days of receiving the request. As this request was completed prior to day 10, this letter also serves as our Advisory Response.

Please be advised that you may ask the Information and Privacy Commissioner to review the processing of your access request, as set out in section 42 of the Access to Information and Protection of Privacy Act 2015 (the Act). The address and contact information of the Information and Privacy Commissioner is as follows:

Office of the Information and Privacy Commissioner
2 Canada Drive
P. O. Box 13004, Stn. A
St. John's, NL. A1B 3V8
Telephone: (709) 729-6309
Toll-Free: 1-877-729-6309
Facsimile: (709) 729-6500



You may also appeal directly to the Supreme Court within 15 business days after you receive the decision of the public body, pursuant to section 52 of the Act.

If you have any further questions, please feel free to contact me by telephone or by email.

Sincerely,

Terrilynn Smith, CPA, CA
ATIPP Coordinator

Reviewed with no comments, Approved

INFRASTRUCTURE AND ENGINEERING

Reviewed/Approved as to the general conformity of the design concept. Sole responsibility for the correct design, details and dimensions shall remain with the party submitting the drawing. Review is for conformity of the design concept and general arrangement. The Developer/Engineer of Record is not relieved of responsibility for errors or omissions and shall meet all requirements of the design.



R Spurrell

Nov 7, 2023

STONEMOUNT ENTERPRISES LTD.

WILLOWBANKS SUBDIVISION PHASE 3A

GALLANTS STREET

TOWN OF PARADISE NEWFOUNDLAND & LABRADOR

REV AB - ISSUED FOR AS-BUILT

LIST OF DRAWINGS

- C1
OVERALL LAYOUT
AND
PHASING PLAN
- C2
SUBDIVISION PLAN
- C3
GALLANTS STREET
PLAN AND PROFILE
STA. 0+000 TO 0+250
- C4
GALLANTS STREET
PLAN AND PROFILE
STA. 0+250 TO 0+316.7
- C5
LOT GRADING PLAN
- D1
GENERAL NOTES
AND DETAILS

DYNAMIC
ENGINEERING LTD.

Civil • Management • Consulting

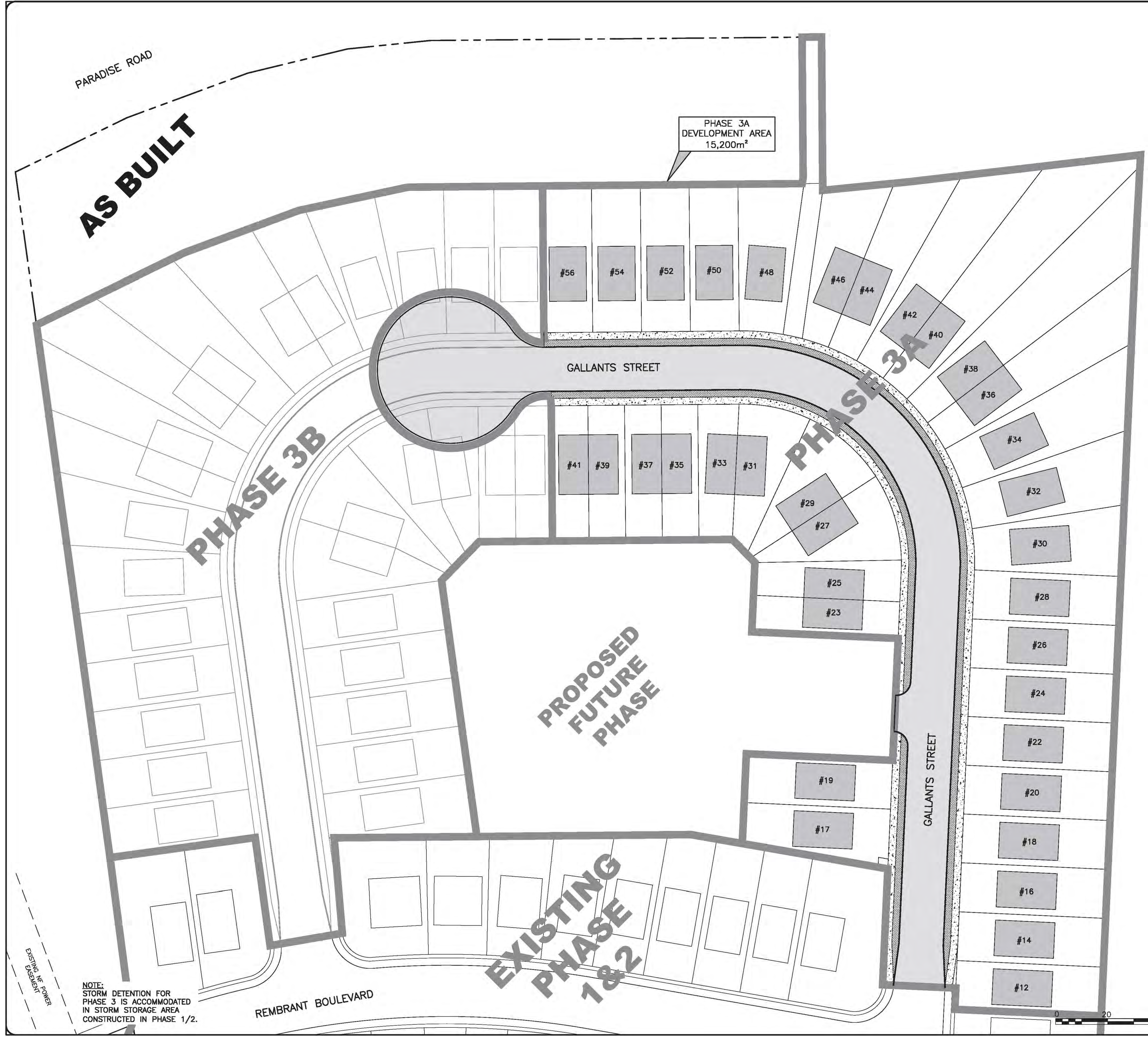
62 CAMPBELL AVENUE TEL: (709) 368-1669
ST. JOHNS, NL FAX: (709) 368-0318
A1E 2Z6 info@DynamicEngineering.ca

OWNER/CLIENT NAME:

STONEMOUNT
ENTERPRISES LTD.

PROJECT No.:

23216



RESIDENTIAL MEDIUM DENSITY (RMD) REGULATIONS

SINGLE DWELLING
 LOT AREA (MIN.) - 450m²
 FRONTAGE (MIN.) - 15.25m
 BLDG LINE SETBACK (MIN.) - 7.6m
 BLDG LINE SETBACK (MAX.) - 15.0m
 SIDE YARD (MIN.) - 1.2m & 2.4m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 50%

ROW DWELLING
 LOT AREA (MIN.) - 180m²
 FRONTAGE (MIN.) - 6.0m
 BLDG LINE SETBACK (MIN.) - 7.6m
 BLDG LINE SETBACK (MAX.) - 15.0m
 SIDE YARD (MIN.) - 3.0m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 55%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 33%

SEMI-DETACHED DWELLING
 LOT AREA (MIN.) - 270m²
 FRONTAGE (MIN.) - 9.0m
 BLDG LINE SETBACK (MIN.) - 7.6m
 BLDG LINE SETBACK (MAX.) - 15.0m
 SIDE YARD (MIN.) - 2.4m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 33%

RESIDENTIAL HIGH DENSITY (RHD) REGULATIONS

SINGLE DWELLING
 LOT AREA (MIN.) - 300m²
 FRONTAGE (MIN.) - 10m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 50%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 40%

SEMI-DETACHED DWELLING
 LOT AREA (MIN.) - 188m²
 FRONTAGE (MIN.) - 7.5m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 20%

ROW DWELLING
 LOT AREA (MIN.) - 140m²
 FRONTAGE (MIN.) - 5.5m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 2.4m ON END UNIT
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 55%
 HEIGHT (MAX.) - 10m
 LANDSCAPING FRONT YARD (MIN.) - 40%

MULTI-UNIT
 LOT AREA (MIN.) - 90m² PER D.U.
 FRONTAGE (MIN.) - 25m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 6.0m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 55%
 HEIGHT (MAX.) - 17m

- NOTES:
- DO NOT SCALE FROM DRAWINGS. ALL ELEVATIONS AND CHANGES ARE IN METERS AND ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE BASED ON GEODETIC DATUM.
 - ALL WORK PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPAL WATER, SEWER AND ROAD SPECIFICATIONS, LATEST EDITION, AS PUBLISHED BY THE GOVERNMENT OF NEWFOUNDLAND AND LABRADOR, DEPARTMENT OF MUNICIPAL AFFAIRS, AND/OR THE TOWN OF PARADISE DEVELOPMENT REGULATIONS.
 - LOCATION SHOWN OF EXISTING UNDERGROUND INFRASTRUCTURE IS APPROXIMATE ONLY. CONTRACTOR CONFIRMED WITH ENGINEER, PIPE DEPTH AND LOCATION, OF ALL EXISTING UNDERGROUND PIPE IN AREAS WHERE NEW PIPE MUST CROSS THESE UTILITIES.
 - CONTRACTOR CO-ORDINATED AND OBTAINED ANY AND ALL PERMITS REQUIRED FROM THE TOWN OR OTHER AUTHORITIES.
 - STREET EXCAVATION PERMIT OBTAINED PRIOR TO STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
 - A PERMIT TO CONNECT OBTAINED PRIOR TO PERFORMING ANY SERVICING WORK.
 - LOT SERVICES ARE EXTENDED 3.0m BEYOND PROPERTY LINES.

AB	ISSUED FOR AS-BUILT	D.J.M.	10/20/23
No.	REVISIONS	BY	DATE
A	A - PLAN, SECTION, ELEVATION, OR DETAIL No.		
B	B - No. OF DRAWING WHERE ABOVE IS DRAWN		

REFERENCE:

STAMP:

PERMIT STAMP:

DYNAMIC ENGINEERING LTD.
 Civil • Management • Consulting
 42 CAMPBELL AVENUE ST. JOHN'S, NL A1E 2Z6 TEL: (709) 368-1669 FAX: (709) 368-0318 info@DynamicEngineering.ca

PRELIMINARY ONLY NOT FOR CONSTRUCTION

CLIENT: **STONEMOUNT ENTERPRISES LTD.**

PROJECT TITLE: **WILLOWBANKS SUBDIVISION PHASE 3A**

DRAWING TITLE: **OVERALL LAYOUT AND PHASING PLAN**

DRAWN/DESIGNED BY: D.J.M. DATE: APRIL 2023
 APPROVED BY: D.J.M. SCALE: AS SHOWN

PROJECT No.: 23216 DRAWING No.: C1 AB

ALL NEW LOTS SHALL CONFORM TO THE RMD AND RHD ZONE REGULATIONS

NOTE: STORM DETENTION FOR PHASE 3 IS ACCOMMODATED IN STORM STORAGE AREA CONSTRUCTED IN PHASE 1/2.

REMBRANT BOULEVARD

EXISTING PHASE 1&2

PROPOSED FUTURE PHASE

PHASE 3A

PHASE 3B

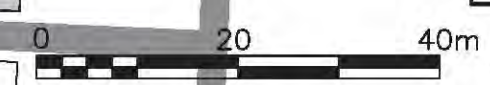
AS BUILT

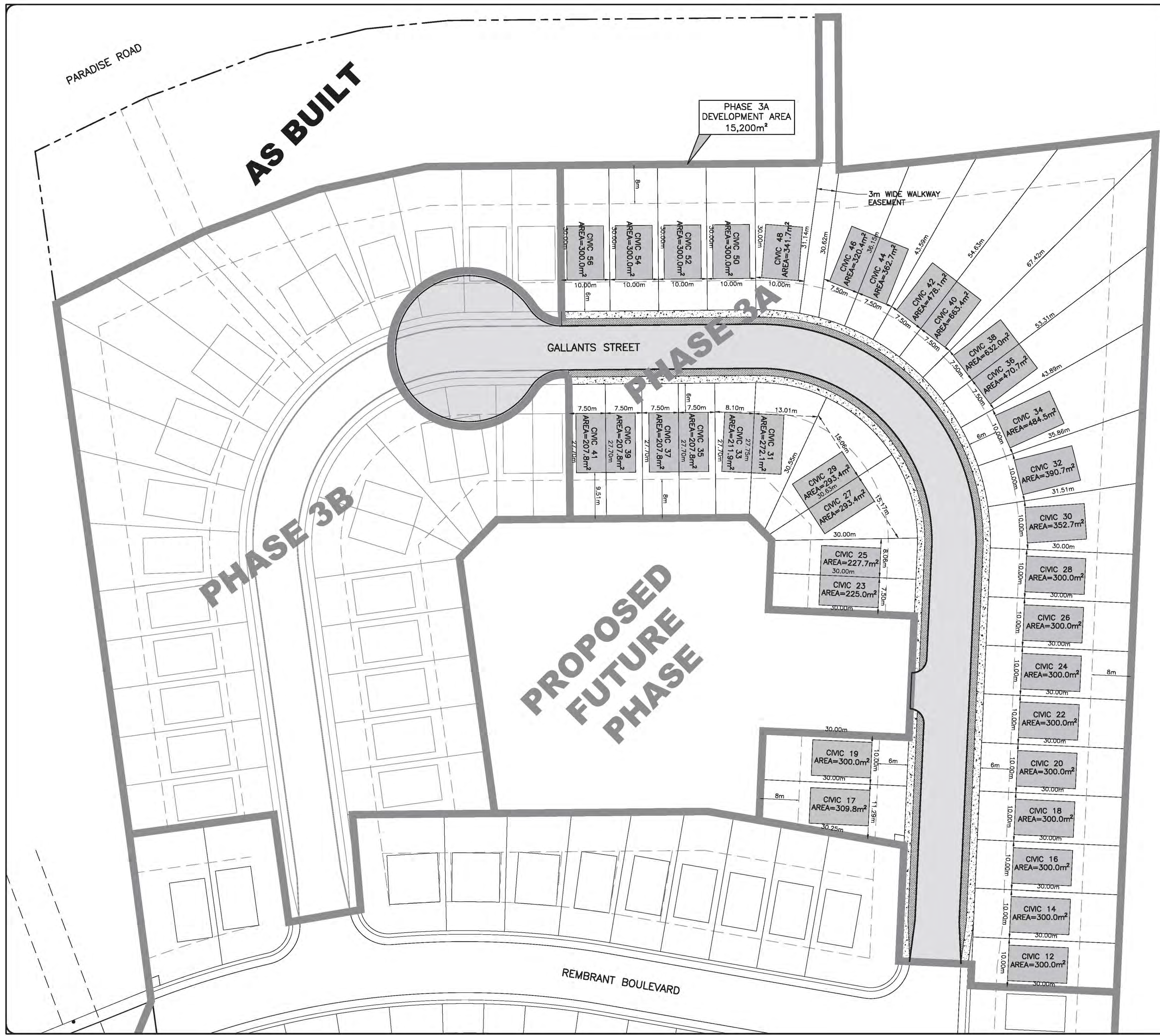
PARADISE ROAD

GALLANTS STREET

GALLANTS STREET

PHASE 3A DEVELOPMENT AREA 15,200m²





RESIDENTIAL HIGH DENSITY (RHD) REGULATIONS

SINGLE DWELLING
 LOT AREA (MIN.) - 300m²
 FRONTAGE (MIN.) - 10m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 50%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 40%

SEMI-DETACHED DWELLING
 LOT AREA (MIN.) - 188m²
 FRONTAGE (MIN.) - 7.5m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 20%

ALL NEW LOTS SHALL CONFORM TO THE RHD ZONE REGULATIONS

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 - LOCATION SHOWN OF EXISTING UNDERGROUND INFRASTRUCTURE IS APPROXIMATE ONLY. CONTRACTOR CONFIRMED WITH ENGINEER, PIPE DEPTH AND LOCATION, OF ALL EXISTING UNDERGROUND PIPE IN AREAS WHERE NEW PIPE MUST CROSS THESE UTILITIES.
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 - A PERMIT TO CONNECT OBTAINED PRIOR TO PERFORMING ANY SERVICING WORK.
 - LOT SERVICES ARE EXTENDED 3.0m BEYOND PROPERTY LINES.

AB	ISSUED FOR AS-BUILT	D.J.M.	10/20/23
No.	REVISIONS	BY	DATE

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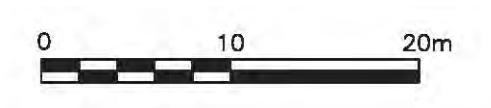
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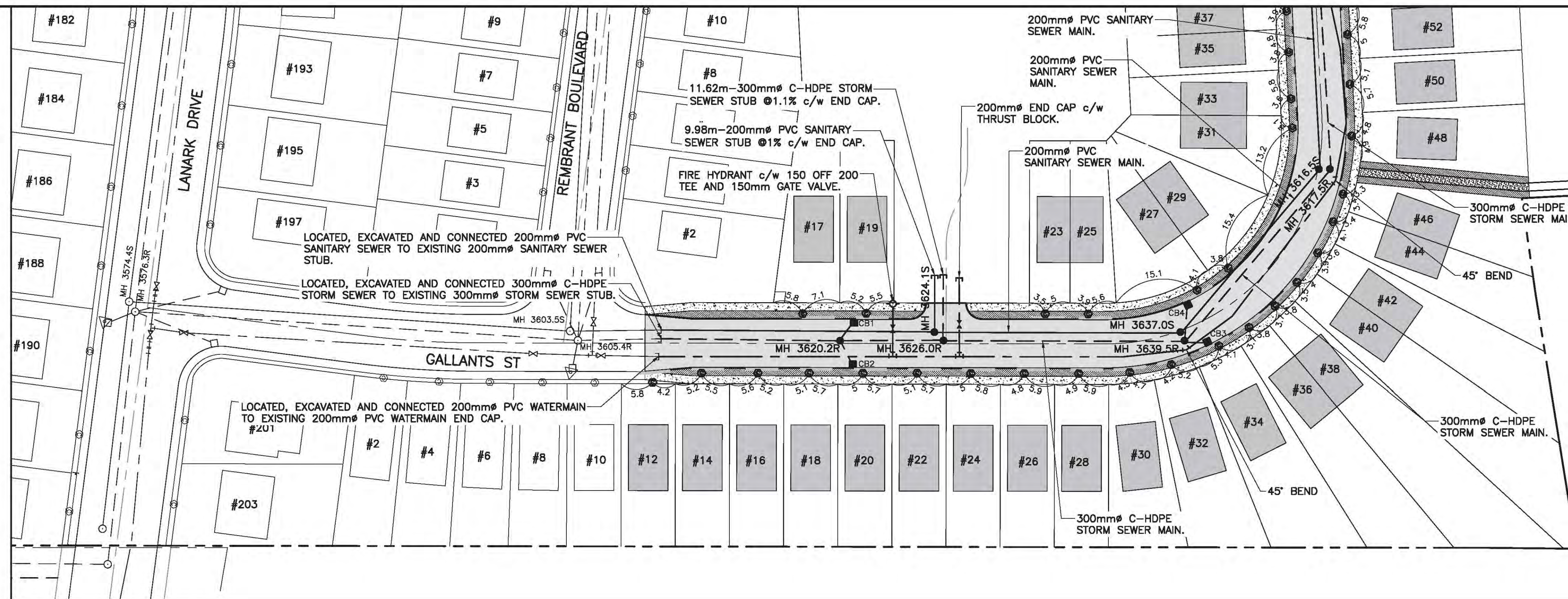
CLIENT: **STONEMOUNT ENTERPRISES LTD.**

PROJECT TITLE: **WILLOWBANKS SUBDIVISION PHASE 3A**

DRAWING TITLE: **SUBDIVISION PLAN**

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C2 AB





LEGEND

- NEW MANHOLE
- EXISTING MANHOLE
- NEW CATCH BASIN
- EXISTING CATCH BASIN
- NEW GATE VALVE
- EXISTING GATE VALVE
- ⊕ NEW FIRE HYDRANT
- ⊕ EXISTING FIRE HYDRANT
- WATERMAIN TEE
- WATERMAIN BEND
- WATERMAIN
- SANITARY SEWER MAIN
- STORM SEWER MAIN
- FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- DRIVEWAY LOCATION

100.00
100.00

- NOTES:
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AB	ISSUED FOR AS-BUILT	D.J.M.	10/20/23
No.	REVISIONS	BY	DATE

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B	B - No. OF DRAWING WHERE ABOVE IS DRAWN

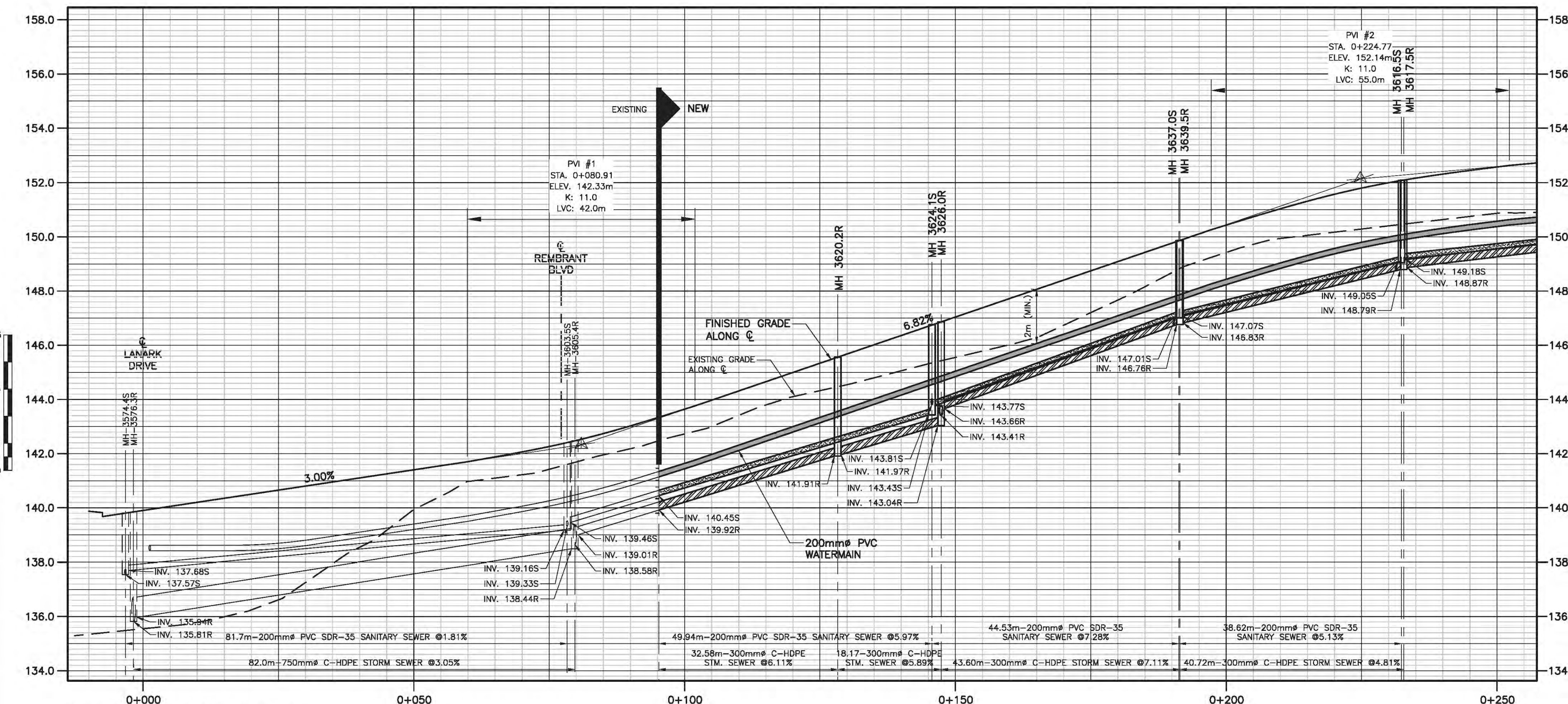
REFERENCE:

STAMP:

PERMIT STAMP:

PLAN STA 0+000 TO 0+250

MH COORDINATES		
MH #	NORTHING	EASTING
MH 3620.2R	5,266,883.682	313,620.291
MH 3624.1S	5,266,900.664	313,624.256
MH 3626.0R	5,266,901.764	313,626.230
MH 3637.0S	5,266,944.084	313,638.118
MH 3639.5R	5,266,944.243	313,639.813
MH 3616.5S	5,266,977.780	313,616.869
MH 3617.5R	5,266,979.677	313,617.606



PROFILE STA 0+000 TO 0+250

AS BUILT

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Civil • Management • Consulting

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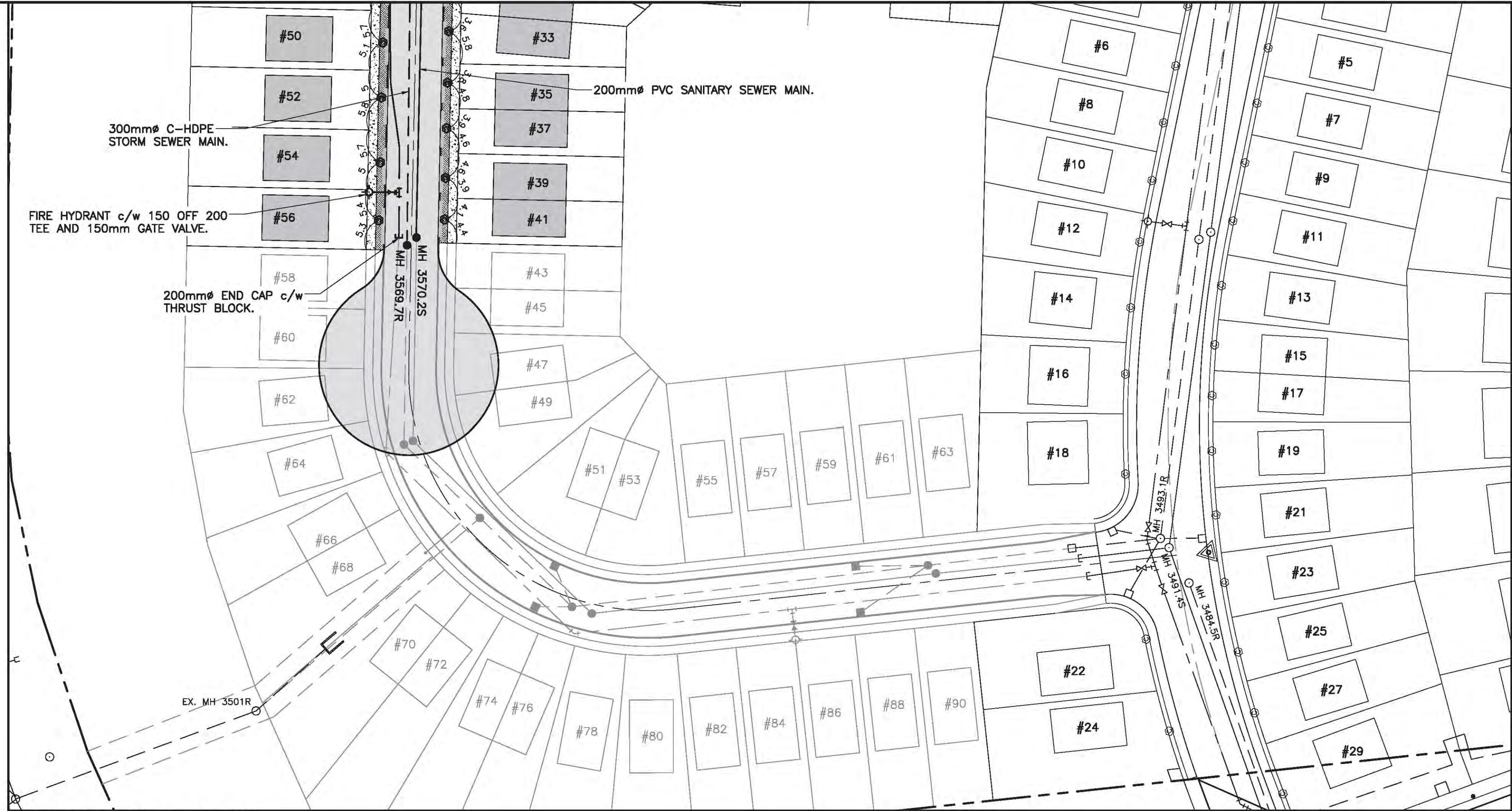
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CLIENT:
STONEMOUNT ENTERPRISES LTD.

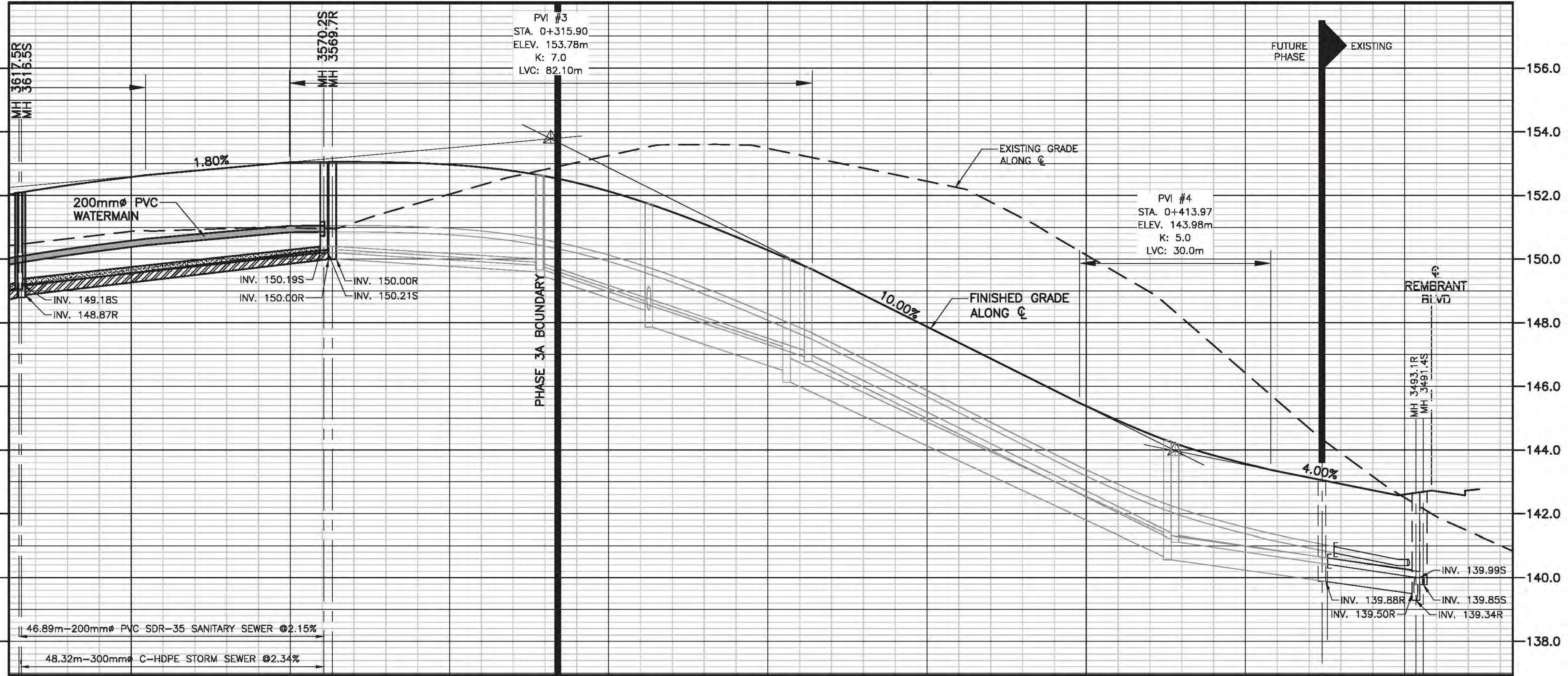
PROJECT TITLE:
WILLOWBANKS SUBDIVISION PHASE 3A

DRAWING TITLE:
GALLANTS STREET PLAN AND PROFILE STA 0+000 TO 0+250

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C3 AB



PLAN STA 0+250 TO 0+454.2



PROFILE STA 0+250 TO 0+454.2



LEGEND

- NEW MANHOLE
- EXISTING MANHOLE
- NEW CATCH BASIN
- EXISTING CATCH BASIN
- NEW GATE VALVE
- EXISTING GATE VALVE
- ⊕ NEW FIRE HYDRANT
- ⊕ EXISTING FIRE HYDRANT
- WATERMAIN TEE
- WATERMAIN BEND
- WATERMAIN
- SANITARY SEWER MAIN
- STORM SEWER MAIN
- FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- DRIVEWAY LOCATION

MH COORDINATES

MH #	NORTHING	EASTING
MH 3570.2S	5,266,989.874	313,570.603
MH 3569.7R	5,266,991.459	313,569.523
MH 3537.6S	5,266,998.044	313,537.590
MH 3537.3R	5,266,999.658	313,537.327
MH 3522.5R	5,266,990.121	313,522.474
MH 3504.5R	5,266,978.564	313,504.476
MH 3502.6S	5,266,975.590	313,502.621
MH 3497.6R	5,266,919.067	313,497.567
MH 3495.9S	5,266,918.090	313,495.944

- NOTES:**
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 - A PERMIT TO CONNECT OBTAINED PRIOR TO PERFORMING ANY SERVICING WORK.
 - LOT SERVICES ARE EXTENDED 3.0m BEYOND PROPERTY LINES.

AB	ISSUED FOR AS-BUILT	D.J.M.	10/20/23
No.	REVISIONS	BY	DATE

- A A - PLAN, SECTION, ELEVATION, OR DETAIL No.
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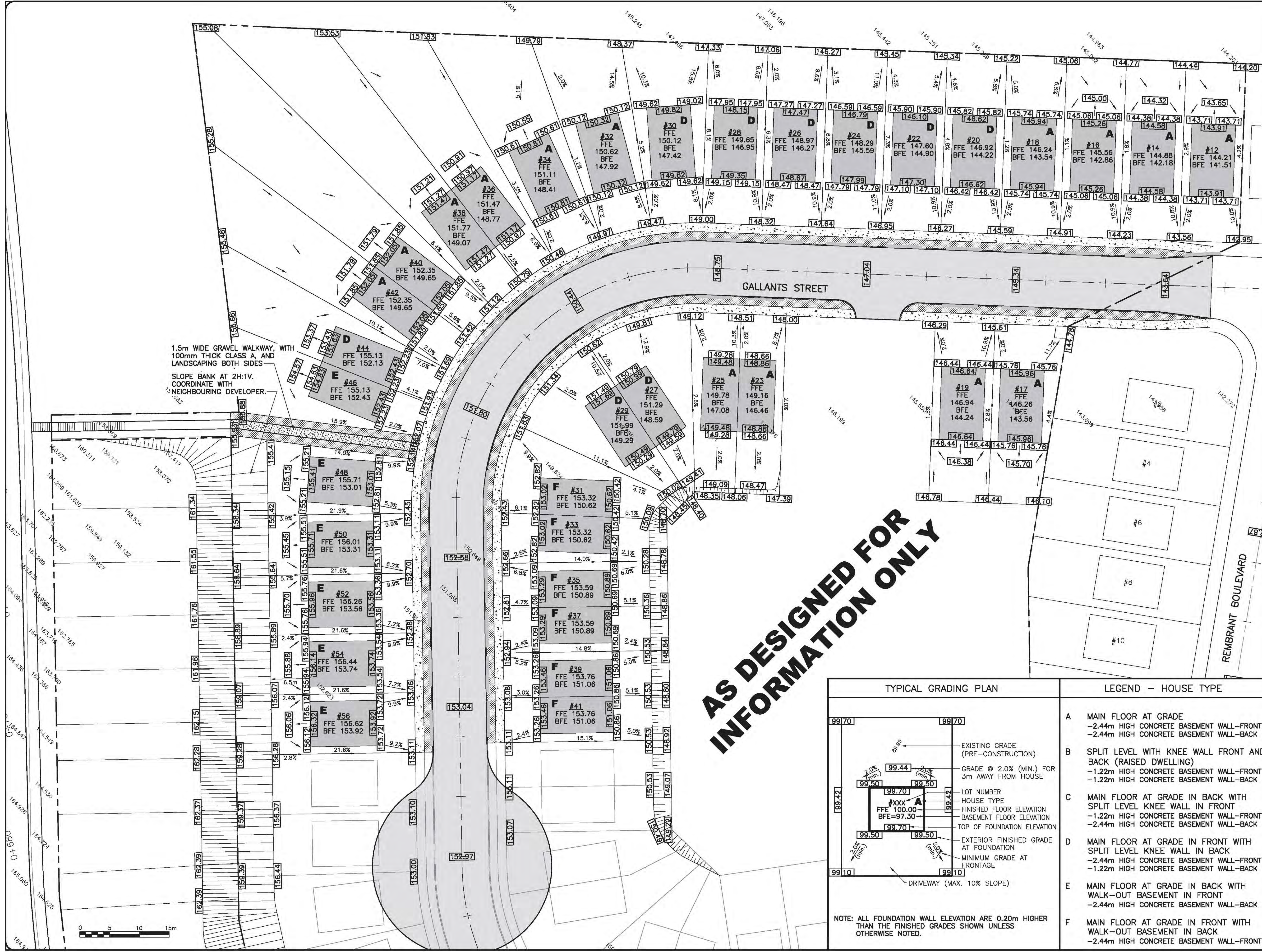
CLIENT:
STONEMOUNT ENTERPRISES LTD.

PROJECT TITLE:
WILLOWBANKS SUBDIVISION PHASE 3A

DRAWING TITLE:
GALLANTS STREET PLAN AND PROFILE STA 0+250 TO 0+454.2

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C4 AB

AS BUILT



1.5m WIDE GRAVEL WALKWAY, WITH 100mm THICK CLASS A, AND LANDSCAPING BOTH SIDES
SLOPE BANK AT 2H:1V. COORDINATE WITH NEIGHBOURING DEVELOPER.

NOTES:
1. PRIOR TO CONSTRUCTION OF CONCRETE FOUNDATION FOOTINGS, THE BUILDING CONTRACTOR SHALL EXCAVATE THE STORM AND SANITARY STUB END CAPS TO CONFIRM THEIR ELEVATIONS COMPARED TO PROPOSED BASEMENT AND TOP OF CONCRETE FOUNDATION GRADES TO CONFIRM THE INTENDED ELEVATIONS FOR SERVICING ARE AVAILABLE.
2. SERVICE LINES SHALL BE INSTALLED HAVING A GRADE NOT LESS THAN 2% AND TO BE INSTALLED AT THE CENTER OF THE BUILDING LOT AND PERPENDICULAR TO THE MAINS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

AB	ISSUED FOR AS-BUILT	D.J.M.	10/20/23
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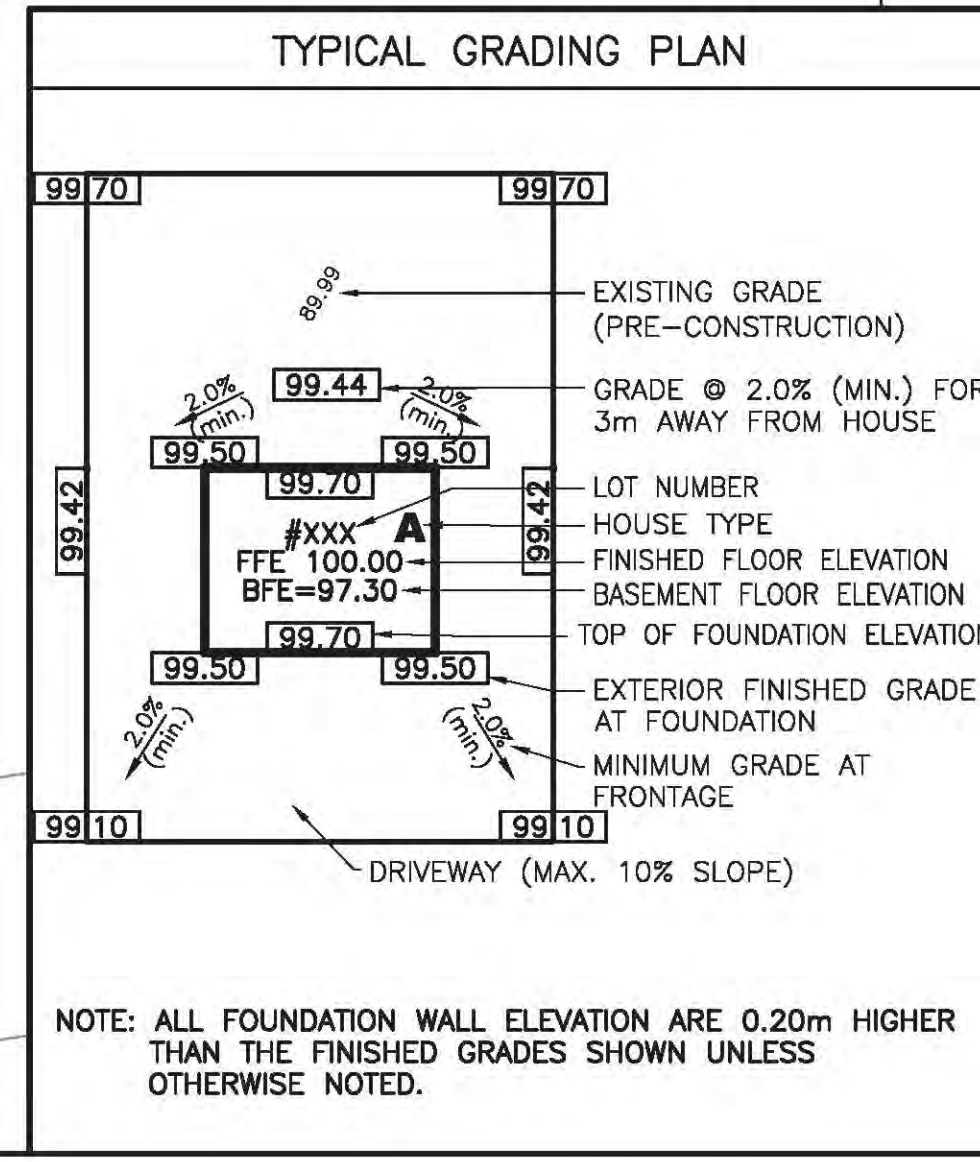
CLIENT: **STONEMOUNT ENTERPRISES LTD.**

PROJECT TITLE: **WILLOWBANKS SUBDIVISION PHASE 3A**

DRAWING TITLE: **LOT GRADING PLAN**

DRAWN/DESIGNED BY: D.J.M.	DATE: APRIL 2023
APPROVED BY: D.J.M.	SCALE: AS SHOWN
PROJECT No.: 23216	DRAWING No.: C5
	REV: AB

AS DESIGNED FOR INFORMATION ONLY



- LEGEND - HOUSE TYPE
- A MAIN FLOOR AT GRADE
-2.44m HIGH CONCRETE BASEMENT WALL-FRONT
-2.44m HIGH CONCRETE BASEMENT WALL-BACK
 - B SPLIT LEVEL WITH KNEE WALL FRONT AND BACK (RAISED DWELLING)
-1.22m HIGH CONCRETE BASEMENT WALL-FRONT
-1.22m HIGH CONCRETE BASEMENT WALL-BACK
 - C MAIN FLOOR AT GRADE IN BACK WITH SPLIT LEVEL KNEE WALL IN FRONT
-1.22m HIGH CONCRETE BASEMENT WALL-FRONT
-2.44m HIGH CONCRETE BASEMENT WALL-BACK
 - D MAIN FLOOR AT GRADE IN FRONT WITH SPLIT LEVEL KNEE WALL IN BACK
-2.44m HIGH CONCRETE BASEMENT WALL-FRONT
-1.22m HIGH CONCRETE BASEMENT WALL-BACK
 - E MAIN FLOOR AT GRADE IN BACK WITH WALK-OUT BASEMENT IN FRONT
-2.44m HIGH CONCRETE BASEMENT WALL-BACK
 - F MAIN FLOOR AT GRADE IN FRONT WITH WALK-OUT BASEMENT IN BACK
-2.44m HIGH CONCRETE BASEMENT WALL-FRONT

NOTE: ALL FOUNDATION WALL ELEVATION ARE 0.20m HIGHER THAN THE FINISHED GRADES SHOWN UNLESS OTHERWISE NOTED.

STONEMOUNT ENTERPRISES LTD.

WILLOWBANKS SUBDIVISION PHASE 3

GALLANTS STREET

TOWN OF PARADISE NEWFOUNDLAND & LABRADOR

REV B - REVISED FOR CLIENT REVIEW

Reviewed with no comments, Approved

INFRASTRUCTURE AND ENGINEERING

Reviewed/Approved as to the general conformity of the design concept. Sole responsibility for the correct design, details and dimensions shall remain with the party submitting the drawing. Review is for conformity of the design concept and general arrangement. The Developer/Engineer of Record is not relieved of responsibility for errors or omissions and shall meet all requirements of the design.



Shannon Toopé

06/29/2023

LIST OF DRAWINGS

- C1
OVERALL LAYOUT
AND
PHASING PLAN
- C2
SUBDIVISION PLAN
- C3
GALLANTS STREET
PLAN AND PROFILE
STA. 0+000 TO 0+250
- C4
GALLANTS STREET
PLAN AND PROFILE
STA. 0+250 TO 0+316.7
- C5
LOT GRADING PLAN
SHEET 1 OF 2
- C6
LOT GRADING PLAN
SHEET 2 OF 2
- D1
GENERAL NOTES
AND DETAILS
- D2
DETAILS
- DP1
STORM SEWER
DRAINAGE AREA PLAN
- DP2
SANITARY SEWER
DRAINAGE AREA PLAN

DYNAMIC
ENGINEERING LTD.

Civil • Management • Consulting

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ST. JOHN'S, NL FAX: (709) 368-0318
A1E 2Z6 info@dynamicengineering.ca

OWNER/CLIENT NAME:

STONEMOUNT
ENTERPRISES LTD.

PROJECT No.:

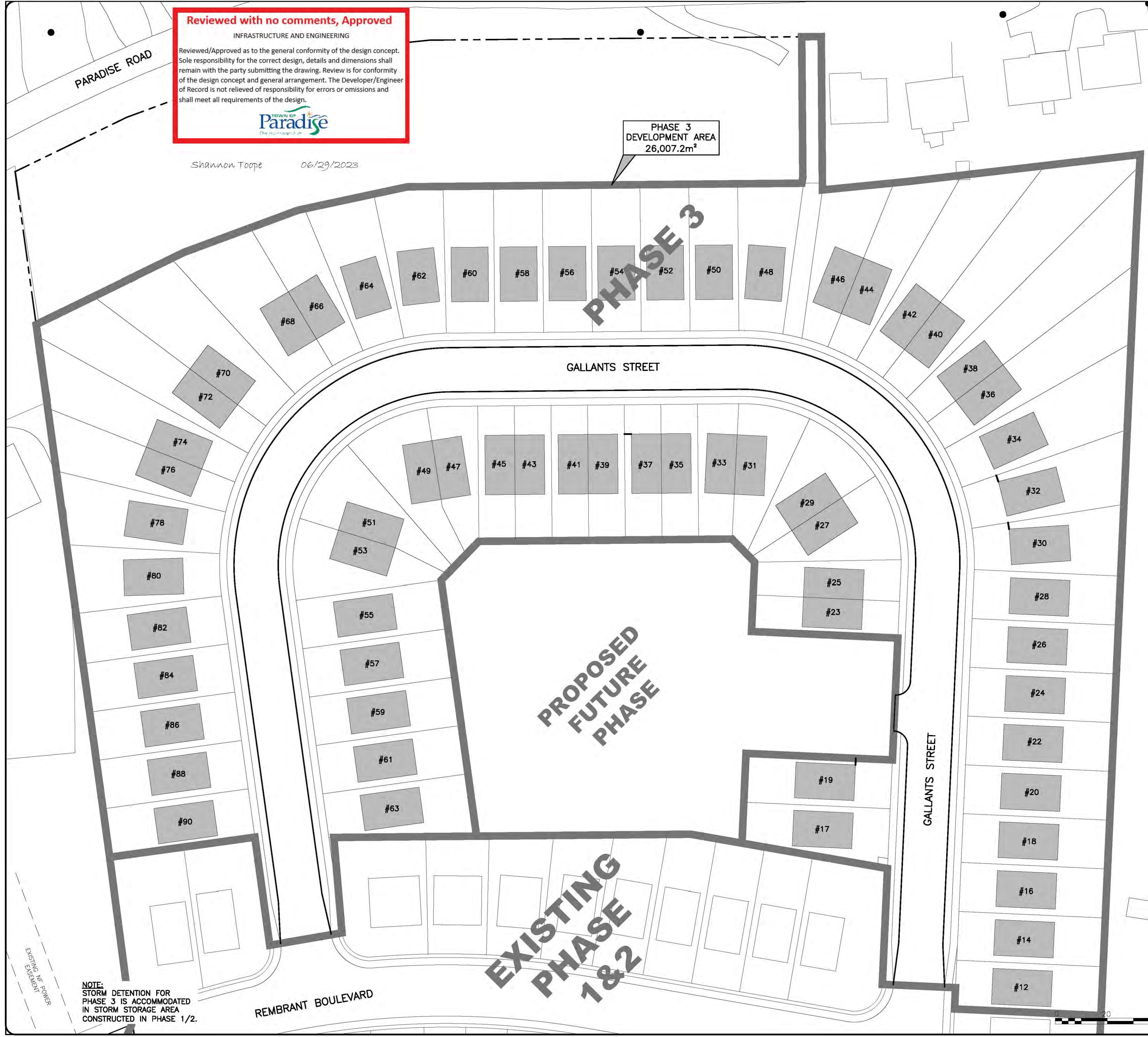
23216

Reviewed with no comments, Approved
 INFRASTRUCTURE AND ENGINEERING
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Shannon Toope 06/29/2023

PHASE 3
 DEVELOPMENT AREA
 26,007.2m²



RESIDENTIAL MEDIUM DENSITY (RMD) REGULATIONS

SINGLE DWELLING
 LOT AREA (MIN.) - 450m²
 FRONTAGE (MIN.) - 15.25m
 BLDG LINE SETBACK (MIN.) - 7.6m
 BLDG LINE SETBACK (MAX.) - 15.0m
 SIDE YARD (MIN.) - 1.2m & 2.4m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 50%

ROW DWELLING
 LOT AREA (MIN.) - 180m²
 FRONTAGE (MIN.) - 6.0m
 BLDG LINE SETBACK (MIN.) - 7.6m
 BLDG LINE SETBACK (MAX.) - 15.0m
 SIDE YARD (MIN.) - 3.0m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 55%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 33%

SEMI-DETACHED DWELLING
 LOT AREA (MIN.) - 270m²
 FRONTAGE (MIN.) - 9.0m
 BLDG LINE SETBACK (MIN.) - 7.6m
 BLDG LINE SETBACK (MAX.) - 15.0m
 SIDE YARD (MIN.) - 2.4m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 33%

RESIDENTIAL HIGH DENSITY (RHD) REGULATIONS

SINGLE DWELLING
 LOT AREA (MIN.) - 300m²
 FRONTAGE (MIN.) - 10m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 50%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 40%

SEMI-DETACHED DWELLING
 LOT AREA (MIN.) - 188m²
 FRONTAGE (MIN.) - 7.5m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 20%

ROW DWELLING
 LOT AREA (MIN.) - 140m²
 FRONTAGE (MIN.) - 5.5m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 2.4m ON END UNIT
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 55%
 HEIGHT (MAX.) - 10m
 LANDSCAPING FRONT YARD (MIN.) - 40%

MULTI-UNIT
 LOT AREA (MIN.) - 90m² PER D.U.
 FRONTAGE (MIN.) - 25m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 6.0m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 55%
 HEIGHT (MAX.) - 17m

NOTES:

- DO NOT SCALE FROM DRAWINGS. ALL ELEVATIONS AND CHANGES ARE IN METERS AND ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE BASED ON GEODETIC DATUM.
- ALL WORK PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPAL WATER, SEWER AND ROAD SPECIFICATIONS, LATEST EDITION, AS PUBLISHED BY THE GOVERNMENT OF NEWFOUNDLAND AND LABRADOR, DEPARTMENT OF MUNICIPAL AFFAIRS, AND/OR THE TOWN OF PARADISE DEVELOPMENT REGULATIONS.
- LOCATION SHOWN OF EXISTING UNDERGROUND INFRASTRUCTURE IS APPROXIMATE ONLY. CONTRACTOR CONFIRMED WITH ENGINEER, PIPE DEPTH AND LOCATION, OF ALL EXISTING UNDERGROUND PIPE IN AREAS WHERE NEW PIPE MUST CROSS THESE UTILITIES.
- CONTRACTOR CO-ORDINATED AND OBTAINED ANY AND ALL PERMITS REQUIRED FROM THE TOWN OR OTHER AUTHORITIES.
- STREET EXCAVATION PERMIT OBTAINED PRIOR TO STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- A PERMIT TO CONNECT OBTAINED PRIOR TO PERFORMING ANY SERVICING WORK.
- LOT SERVICES ARE EXTENDED 3.0m BEYOND PROPERTY LINES.

B	REVISED FOR CLIENT REVIEW	D.J.M.	06/01/23
A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE

REFERENCE: A - PLAN, SECTION, ELEVATION, OR DETAIL No.
 B - No. OF DRAWING WHERE ABOVE IS DRAWN

PERMIT HOLDER: DYNAMIC ENGINEERING LTD.
 This Permit Allows: PERMIT HOLDER

DYNAMIC ENGINEERING LTD.
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62 CAMPBELL AVENUE TEL: (709) 368-1669
 ST. JOHN'S, NL FAX: (709) 368-0318
 A1E 2Z6 info@dynamicengineering.ca

**PRELIMINARY ONLY
 NOT FOR CONSTRUCTION**

CLIENT: **STONEMOUNT ENTERPRISES LTD.**

PROJECT TITLE: **WILLOWBANKS SUBDIVISION PHASE 3**

DRAWING TITLE: **OVERALL LAYOUT AND PHASING PLAN**

DRAWN/DESIGNED BY: D.J.M. DATE: APRIL 2023

APPROVED BY: D.J.M. SCALE: AS SHOWN

PROJECT No.: 23216 DRAWING No.: C1 REV.: B

NOTE: STORM DETENTION FOR PHASE 3 IS ACCOMMODATED IN STORM STORAGE AREA CONSTRUCTED IN PHASE 1/2.

ALL NEW LOTS SHALL CONFORM TO THE RMD AND RHD ZONE REGULATIONS

Reviewed with no comments, Approved
 INFRASTRUCTURE AND ENGINEERING
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Shannon Toope 06/29/2023

PHASE 3
 DEVELOPMENT AREA
 26,007.2m²

RESIDENTIAL HIGH DENSITY (RHD) REGULATIONS

SINGLE DWELLING
 LOT AREA (MIN.) - 300m²
 FRONTAGE (MIN.) - 10m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 50%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 40%

SEMI-DETACHED DWELLING
 LOT AREA (MIN.) - 188m²
 FRONTAGE (MIN.) - 7.5m
 BLDG LINE SETBACK (MIN.) - 6m
 BLDG LINE SETBACK (MAX.) - 15m
 SIDE YARD (MIN.) - 1.2m
 FLANKING SIDE YARD (MIN.) - 7.6m
 REAR YARD (MIN.) - 8m
 LOT COVERAGE (MAX.) - 45%
 HEIGHT (MAX.) - 8m
 LANDSCAPING FRONT YARD (MIN.) - 20%

- NOTES:
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 - CONTRACTOR CO-ORDINATE AND OBTAINED ANY AND ALL PERMITS REQUIRED FROM THE TOWN OR OTHER AUTHORITIES.
 - STREET EXCAVATION PERMIT OBTAINED PRIOR TO STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
 - A PERMIT TO CONNECT OBTAINED PRIOR TO PERFORMING ANY SERVICING WORK.
 - LOT SERVICES ARE EXTENDED 3.0m BEYOND PROPERTY LINES.

B	REVISED FOR CLIENT REVIEW	D.J.M.	06/01/23
A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE
A	A - PLAN, SECTION, ELEVATION, OR DETAIL No.		
B	B - No. OF DRAWING WHERE ABOVE IS DRAWN		

ALL NEW LOTS SHALL CONFORM TO THE RHD ZONE REGULATIONS

REFERENCE:

STAMP:

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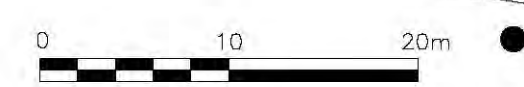
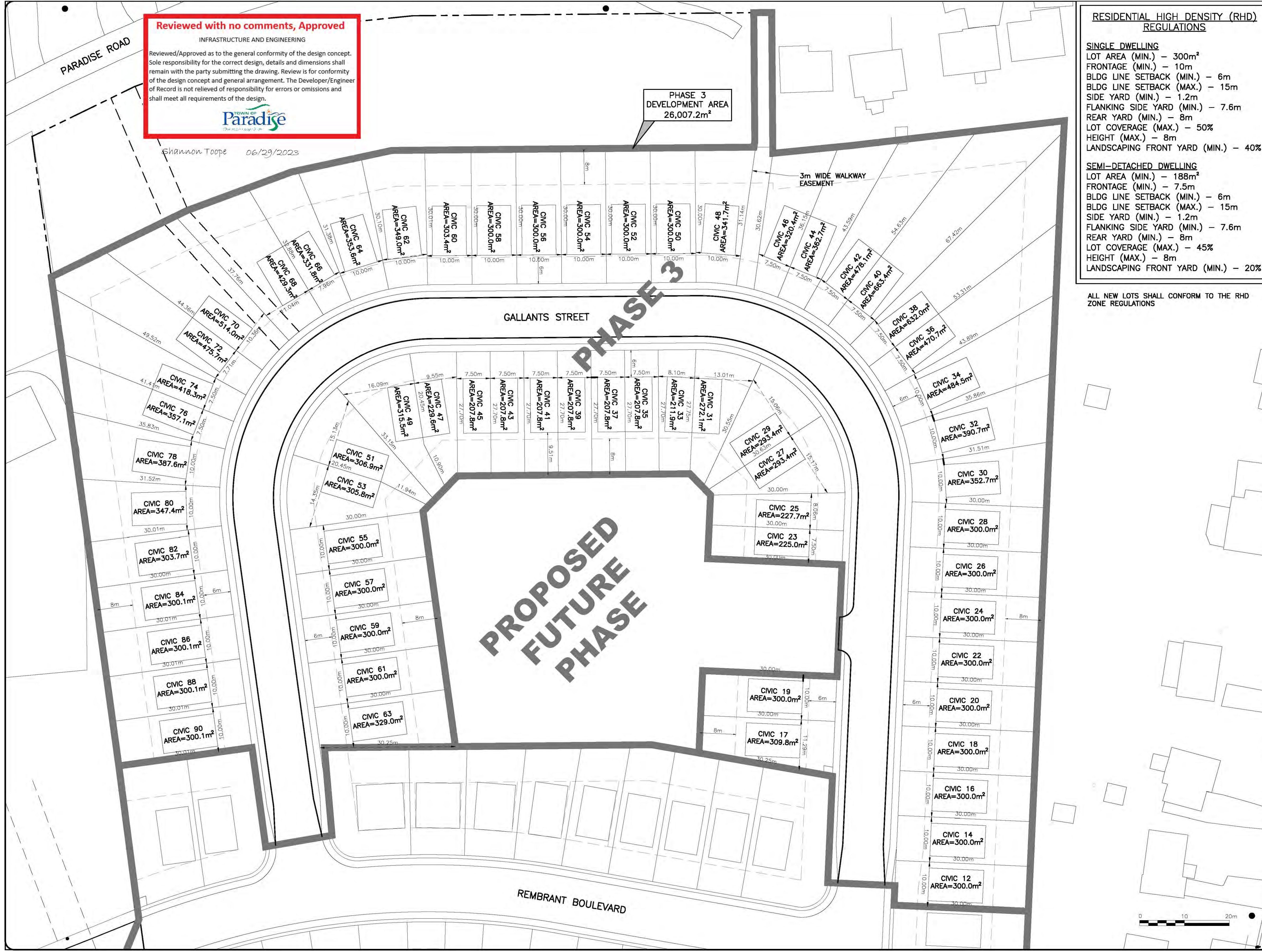
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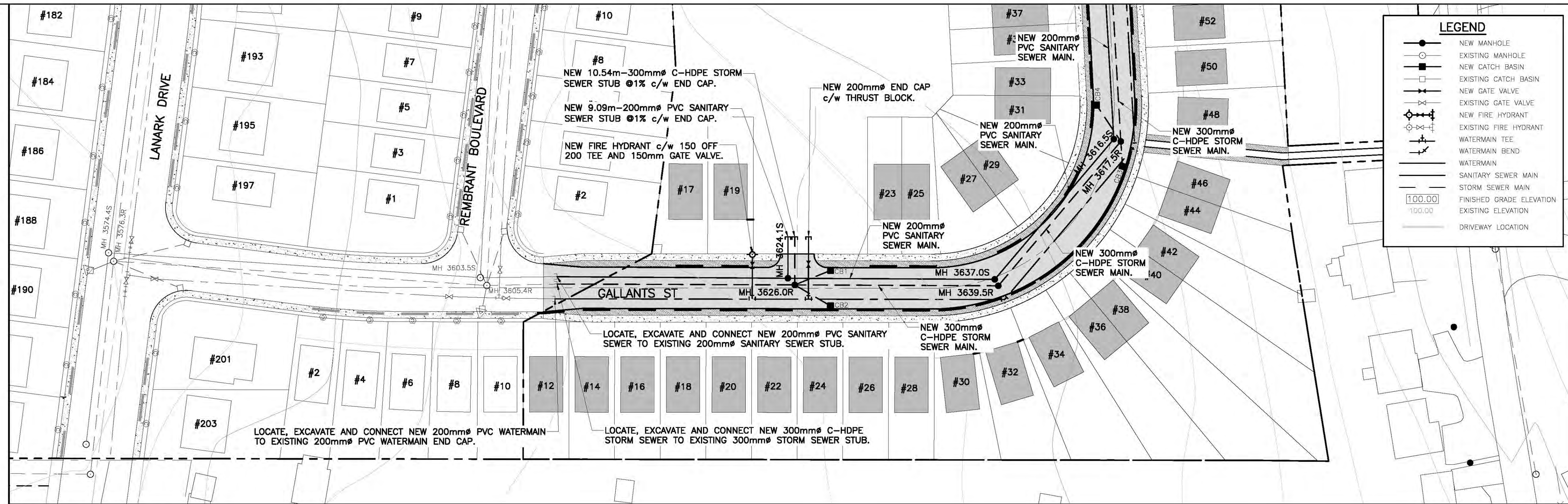
CLIENT: **STONEMOUNT ENTERPRISES LTD.**

PROJECT TITLE: **WILLOWBANKS SUBDIVISION PHASE 3**

DRAWING TITLE: **SUBDIVISION PLAN**

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C2
		REV.:	B





LEGEND

- NEW MANHOLE
- EXISTING MANHOLE
- NEW CATCH BASIN
- EXISTING CATCH BASIN
- NEW GATE VALVE
- EXISTING GATE VALVE
- ⊕ NEW FIRE HYDRANT
- ⊕ EXISTING FIRE HYDRANT
- WATERMAIN TEE
- WATERMAIN BEND
- WATERMAIN
- SANITARY SEWER MAIN
- STORM SEWER MAIN
- FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- DRIVEWAY LOCATION

Scale: 1:100.00

- NOTES:
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 - A PERMIT TO CONNECT OBTAINED PRIOR TO PERFORMING ANY SERVICING WORK.
 - LOT SERVICES ARE EXTENDED 3.0m BEYOND PROPERTY LINES.

A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE
A	A - PLAN, SECTION, ELEVATION, OR DETAIL No.		
B	B - No. OF DRAWING WHERE ABOVE IS DRAWN		

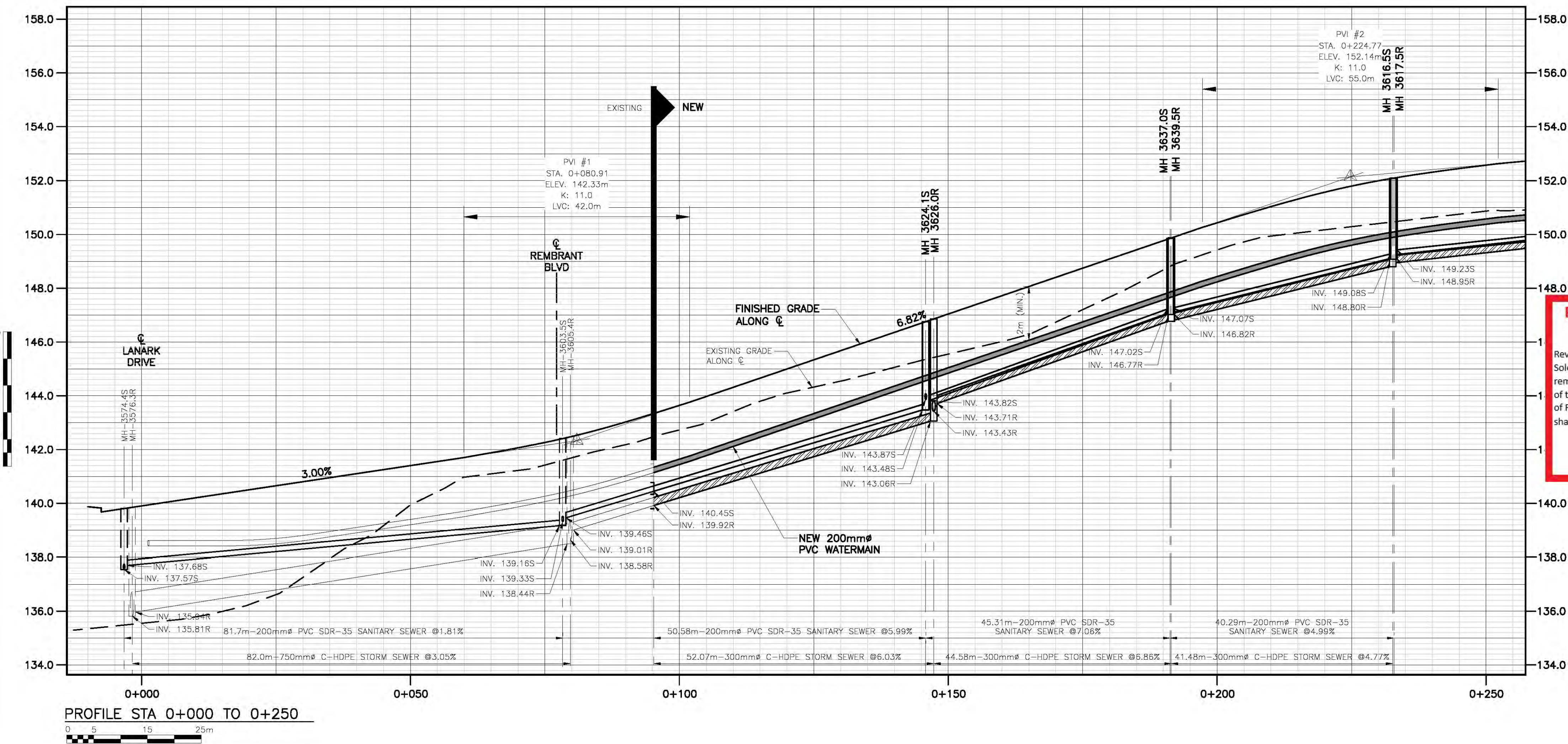
REFERENCE:

STAMP:

PLAN STA 0+000 TO 0+250

MH COORDINATES

MH #	NORTHING	EASTING
MH 3624.1S	5,266,900.885	313,624.138
MH 3626.0R	5,266,901.878	313,625.971
MH 3637.0S	5,266,944.031	313,637.969
MH 3639.5R	5,266,944.335	313,639.550
MH 3616.5S	5,266,978.125	313,616.501
MH 3617.5R	5,266,979.433	313,617.450



Reviewed with no comments, Approved

INFRASTRUCTURE AND ENGINEERING

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Shannon Toope 06/29/2023

PERMIT STAMP:

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CLIENT:

STONEMOUNT ENTERPRISES LTD.

PROJECT TITLE:

WILLOWBANKS SUBDIVISION PHASE 3

DRAWING TITLE:

GALLANTS STREET PLAN AND PROFILE STA 0+000 TO 0+250

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C3
		REV.:	A

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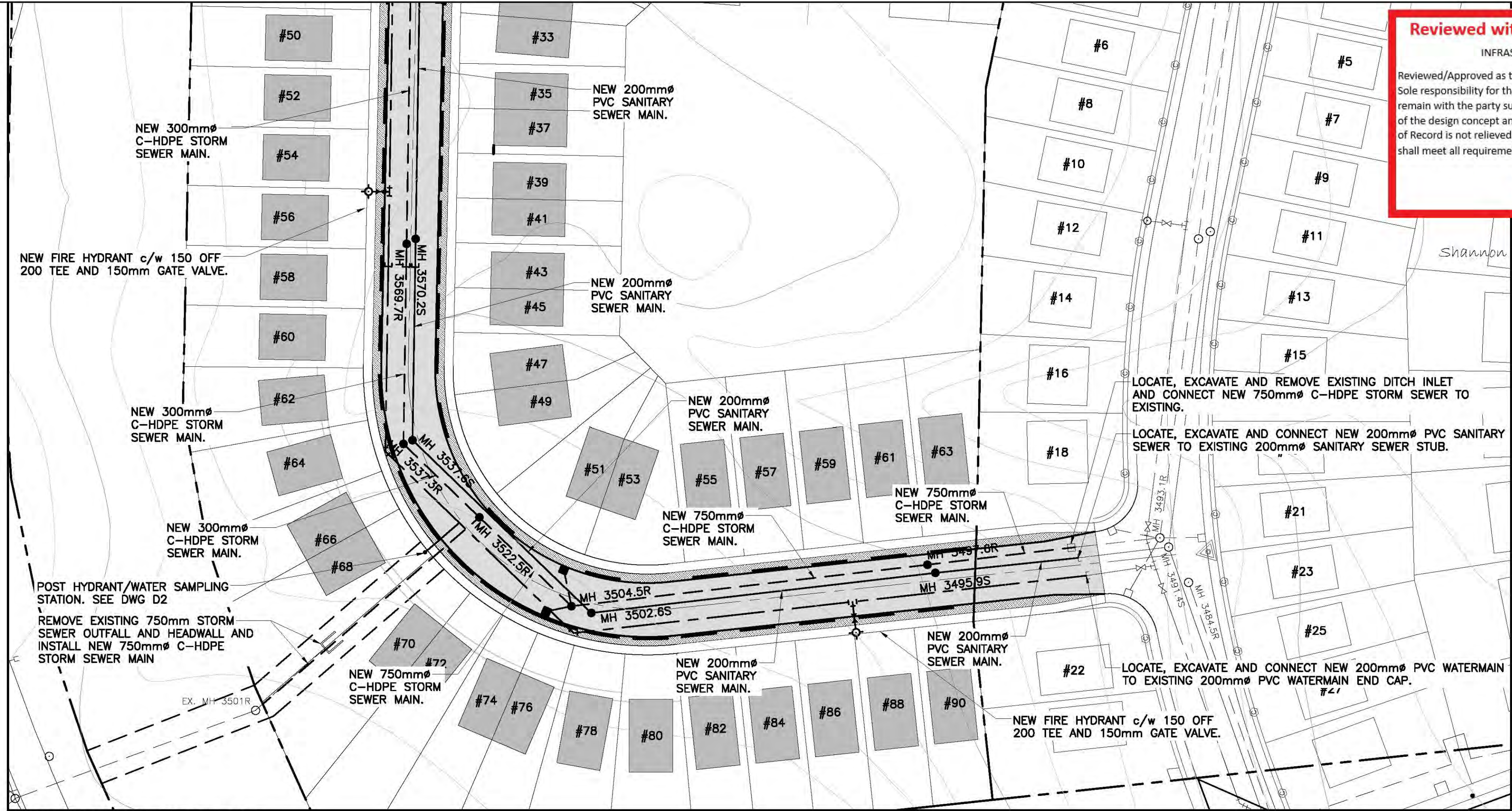


Shannon Toope 06/29/2023

LEGEND

- NEW MANHOLE
- EXISTING MANHOLE
- NEW CATCH BASIN
- EXISTING CATCH BASIN
- NEW GATE VALVE
- EXISTING GATE VALVE
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- WATERMAIN TEE
- WATERMAIN BEND
- WATERMAIN
- SANITARY SEWER MAIN
- STORM SEWER MAIN
- FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- DRIVEWAY LOCATION

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MH COORDINATES

MH #	NORTHING	EASTING
MH 3617.5R	5,266,979.433	313,617.450
MH 3616.5S	5,266,978.125	313,616.501
MH 3570.2S	5,266,989.821	313,570.168
MH 3569.7R	5,266,991.483	313,569.711
MH 3537.6S	5,266,998.044	313,537.590
MH 3537.3R	5,266,999.658	313,537.327
MH 3522.5R	5,266,990.121	313,522.474
MH 3504.5R	5,266,978.564	313,504.476
MH 3502.6S	5,266,975.590	313,502.621
MH 3497.6R	5,266,919.067	313,497.567
MH 3495.9S	5,266,918.090	313,495.944

ISSUED FOR CLIENT REVIEW

REVISIONS

PERMIT STAMP:

PROVINCE OF NEWFOUNDLAND AND LABRADOR

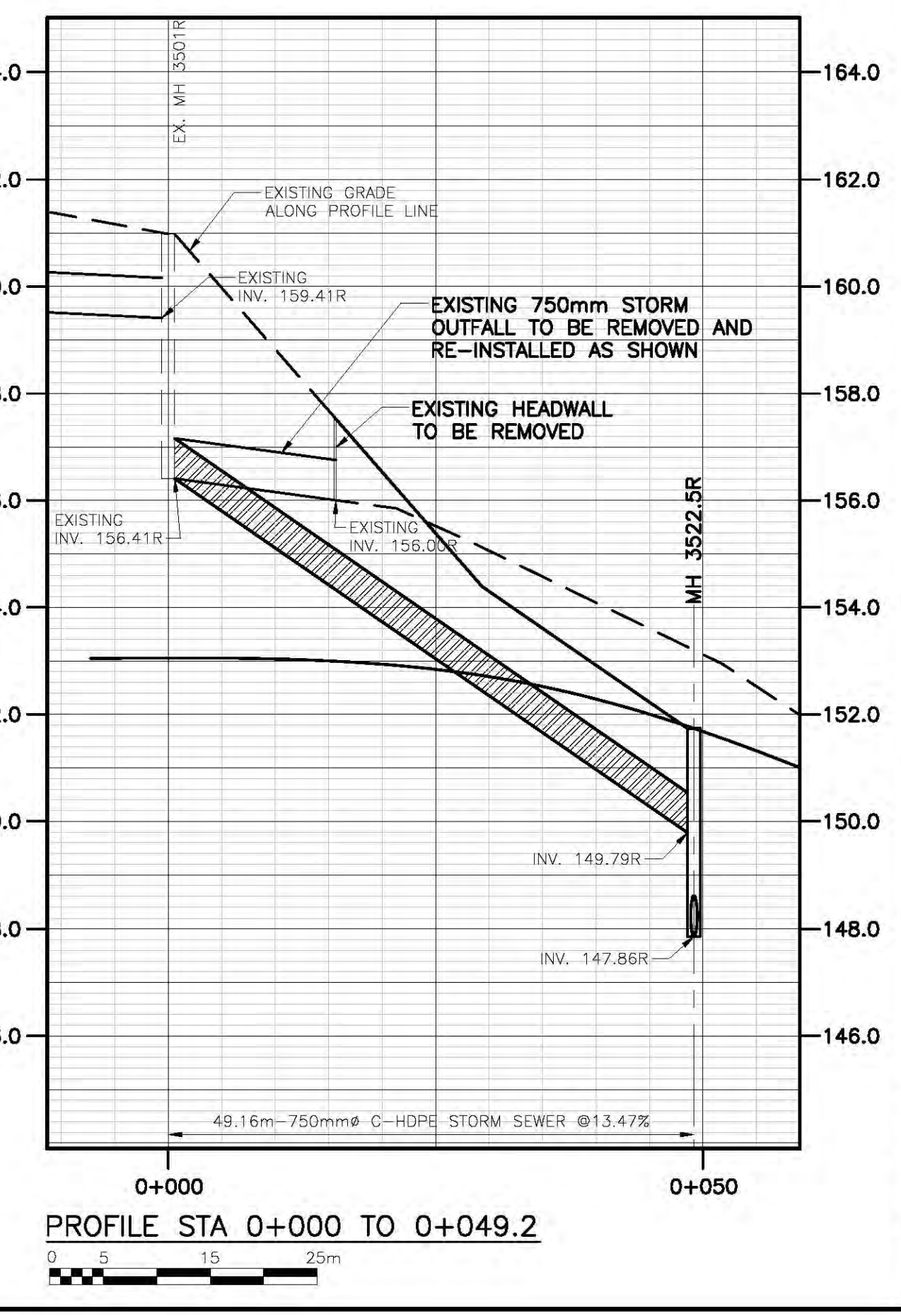
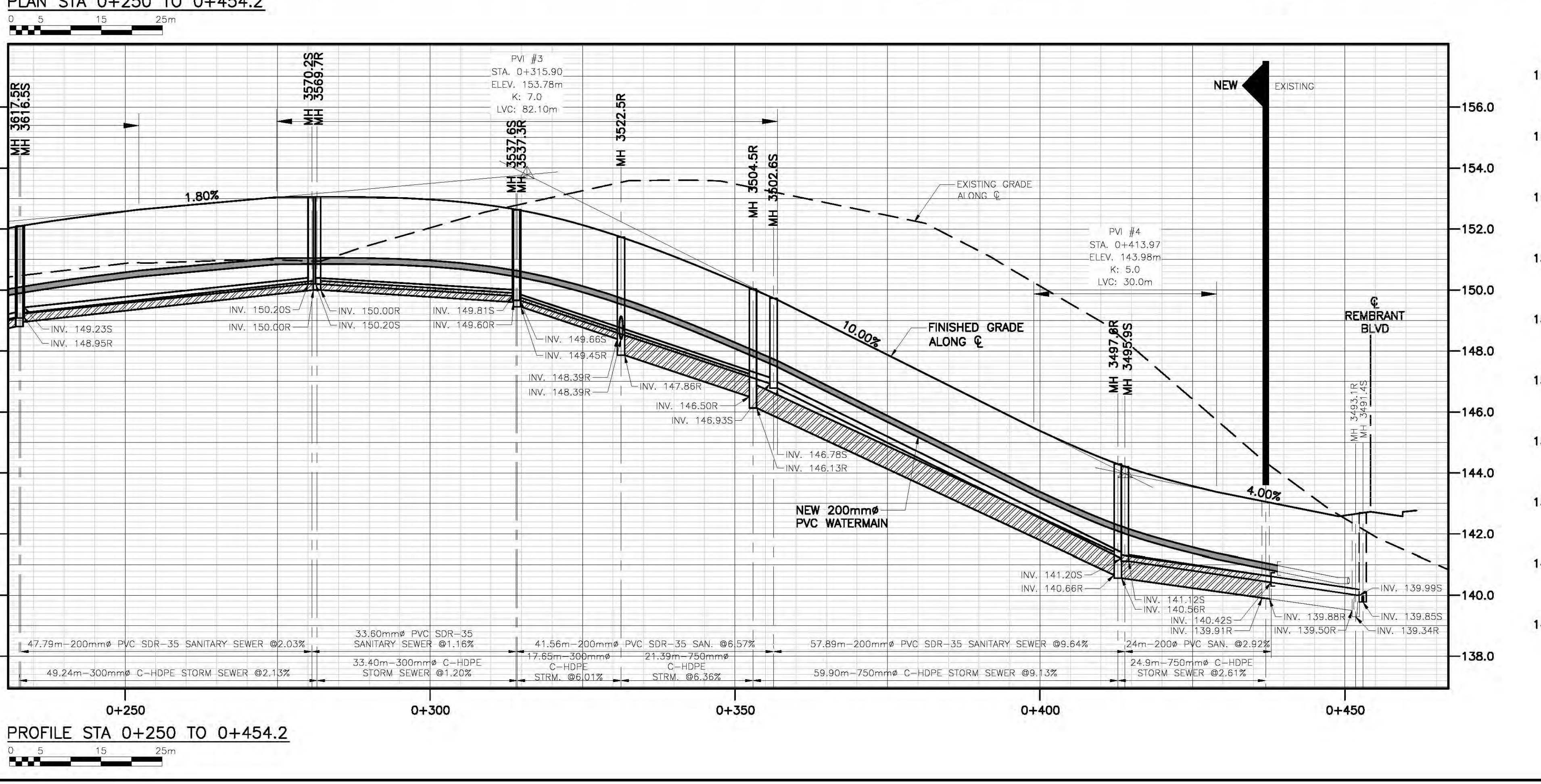
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DYNAMIC ENGINEERING LTD.

TO PRACTICE PROFESSIONAL ENGINEERING IN NEWFOUNDLAND AND LABRADOR

PERMIT NO. AS ISSUED BY PEG 04/26/23 N0579

WHICH IS VALID FOR THE YEAR 2023



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CLIENT: **STONEMOUNT ENTERPRISES LTD.**

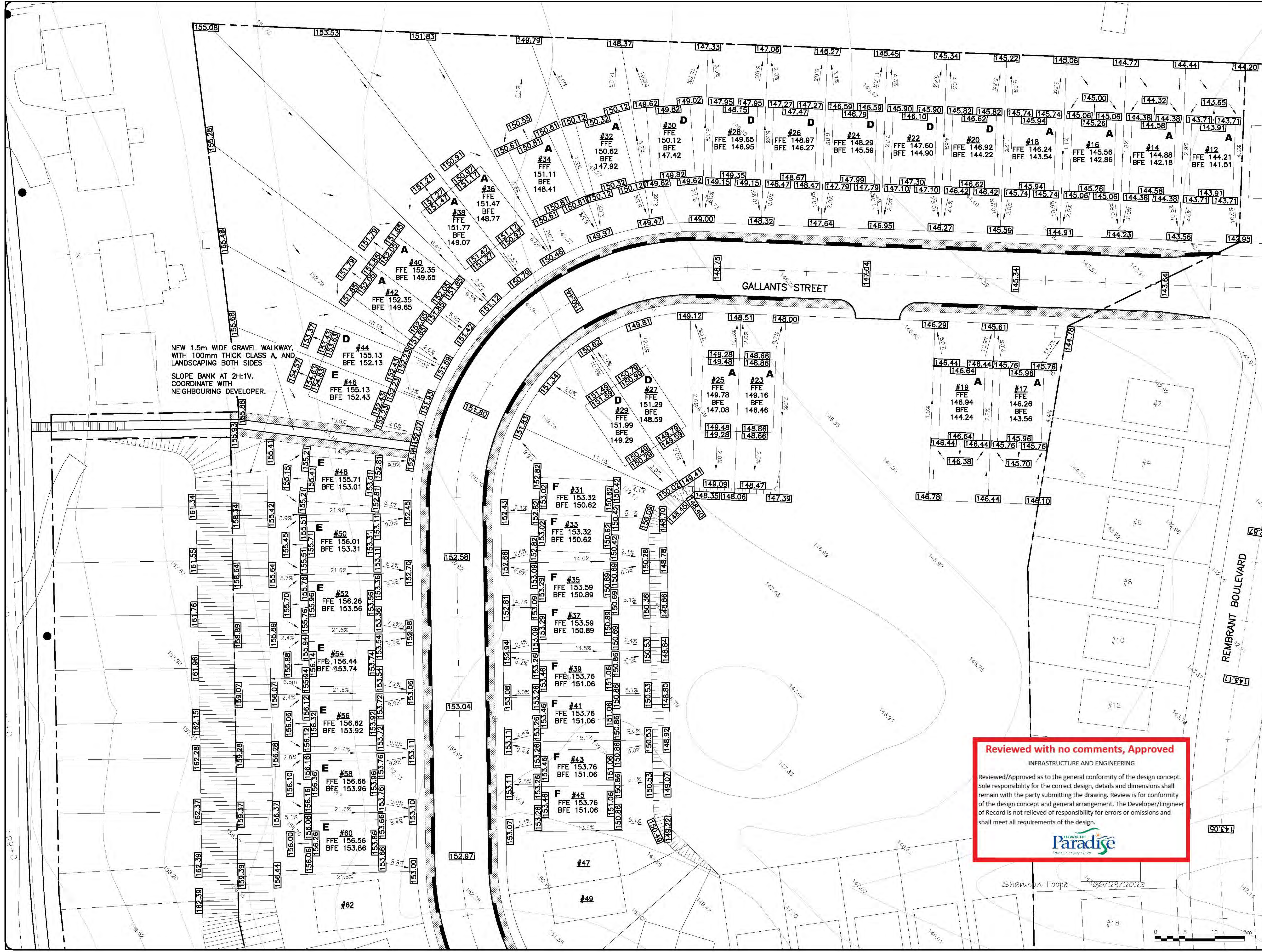
PROJECT TITLE: **WILLOWBANKS SUBDIVISION PHASE 3**

DRAWING TITLE: **GALLANTS STREET PLAN AND PROFILE STA 0+250 TO 0+454.2**

DRAWN/DESIGNED BY: **D.J.M.** DATE: **APRIL 2023**

APPROVED BY: **D.J.M.** SCALE: **AS SHOWN**

PROJECT No.: **23216** DRAWING No.: **C4** REV.: **A**



NEW 1.5m WIDE GRAVEL WALKWAY,
WITH 100mm THICK CLASS A, AND
LANDSCAPING BOTH SIDES
SLOPE BANK AT 2H:1V.
COORDINATE WITH
NEIGHBOURING DEVELOPER.

- NOTES:
1. PRIOR TO CONSTRUCTION OF CONCRETE FOUNDATION FOOTINGS, THE BUILDING CONTRACTOR SHALL EXCAVATE THE STORM AND SANITARY STUB END CAPS TO CONFIRM THEIR ELEVATIONS COMPARED TO PROPOSED BASEMENT AND TOP OF CONCRETE FOUNDATION GRADES TO CONFIRM THE INTENDED ELEVATIONS FOR SERVING ARE AVAILABLE.
 2. SERVICE LINES SHALL BE INSTALLED HAVING A GRADE NOT LESS THAN 2% AND TO BE INSTALLED AT THE CENTER OF THE BUILDING LOT AND PERPENDICULAR TO THE MAINS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

B	REVISED FOR CLIENT REVIEW	D.J.M.	06/01/23
A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE

A	A - PLAN, SECTION, ELEVATION, OR DETAIL No.
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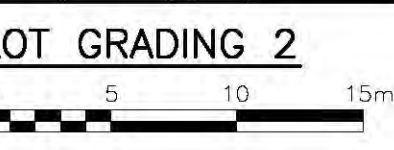
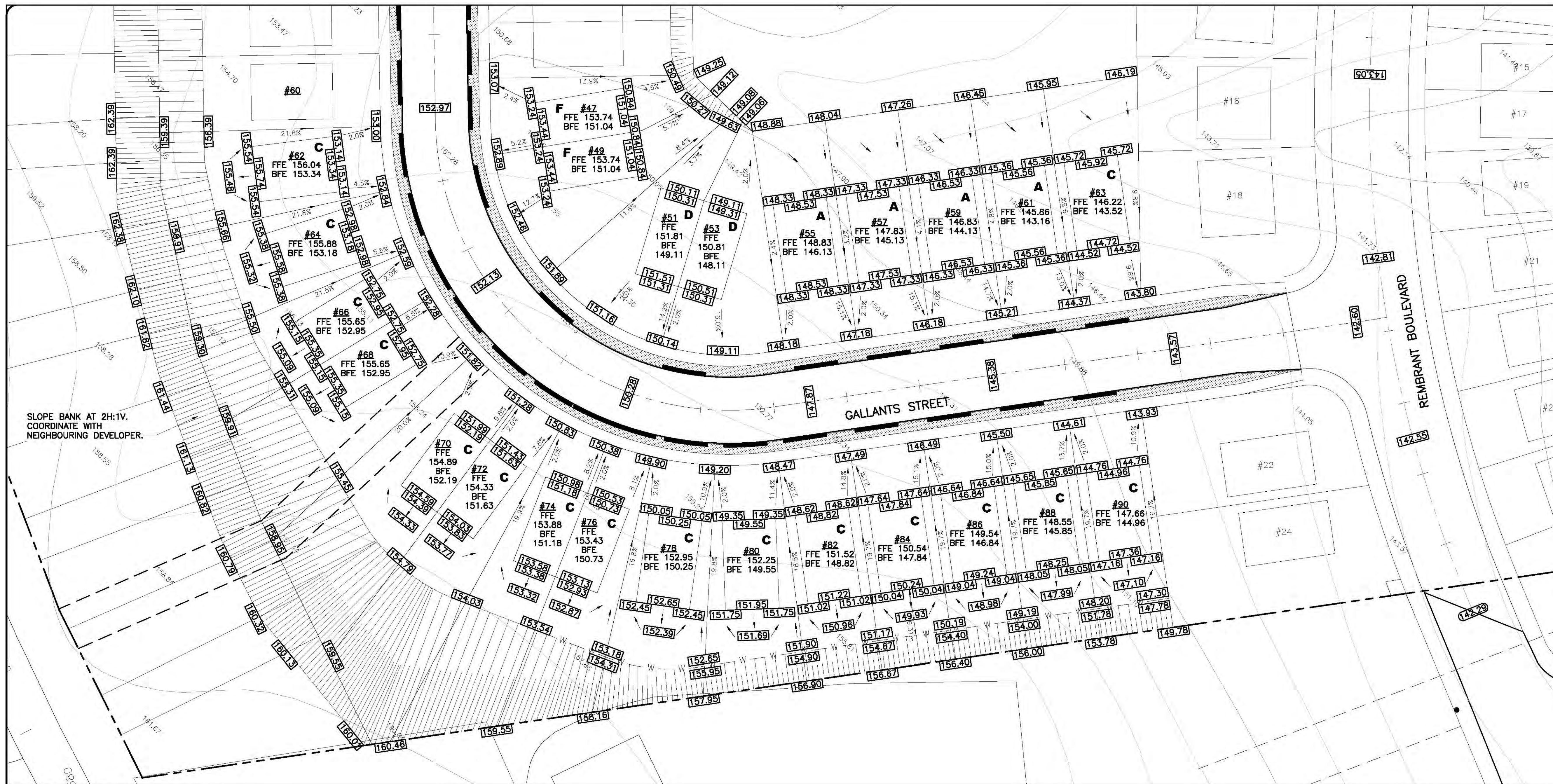
PROJECT TITLE:
**PROPOSED RESIDENTIAL SUBDIVISION
GALLANTS STREET**

DRAWING TITLE:
**LOT GRADING PLAN
SHEET 1 OF 2**

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C5
		REV.:	B

Reviewed with no comments, Approved
INFRASTRUCTURE AND ENGINEERING
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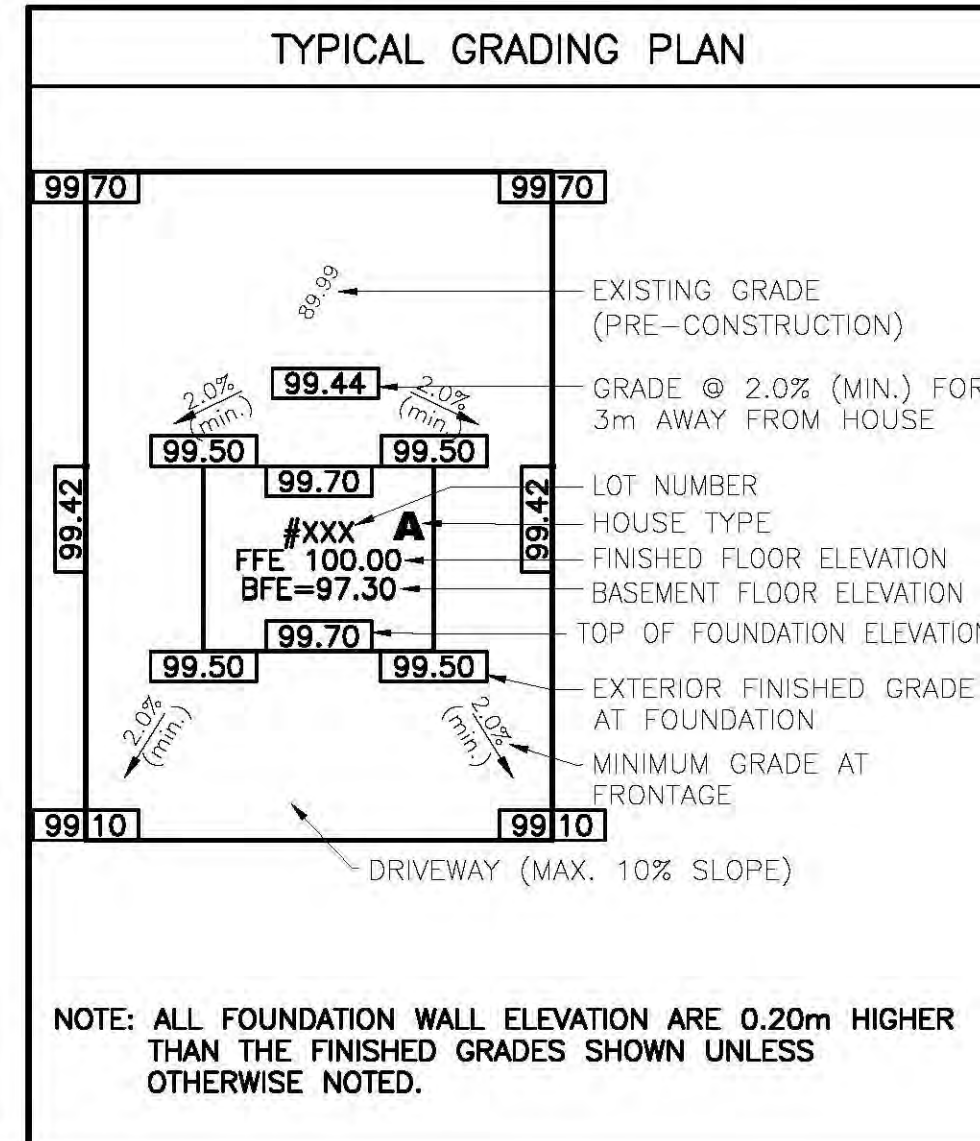
Shannon Toope 06/29/2023



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Shannon Toope 06/29/2023



- LEGEND - HOUSE TYPE**
- A** MAIN FLOOR AT GRADE
 -2.44m HIGH CONCRETE BASEMENT WALL-FRONT
 -2.44m HIGH CONCRETE BASEMENT WALL-BACK
 - B** SPLIT LEVEL WITH KNEE WALL FRONT AND BACK (RAISED DWELLING)
 -1.22m HIGH CONCRETE BASEMENT WALL-FRONT
 -1.22m HIGH CONCRETE BASEMENT WALL-BACK
 - C** MAIN FLOOR AT GRADE IN BACK WITH SPLIT LEVEL KNEE WALL IN FRONT
 -1.22m HIGH CONCRETE BASEMENT WALL-FRONT
 -2.44m HIGH CONCRETE BASEMENT WALL-BACK
 - D** MAIN FLOOR AT GRADE IN FRONT WITH SPLIT LEVEL KNEE WALL IN BACK
 -2.44m HIGH CONCRETE BASEMENT WALL-FRONT
 -1.22m HIGH CONCRETE BASEMENT WALL-BACK
 - E** MAIN FLOOR AT GRADE IN BACK WITH WALK-OUT BASEMENT IN FRONT
 -2.44m HIGH CONCRETE BASEMENT WALL-BACK
 - F** MAIN FLOOR AT GRADE IN FRONT WITH WALK-OUT BASEMENT IN BACK
 -2.44m HIGH CONCRETE BASEMENT WALL-FRONT

NOTES:

- PRIOR TO CONSTRUCTION OF CONCRETE FOUNDATION FOOTINGS, THE BUILDING CONTRACTOR SHALL EXCAVATE THE STORM AND SANITARY STUB END CAPS TO CONFIRM THEIR ELEVATIONS COMPARED TO PROPOSED BASEMENT AND TOP OF CONCRETE FOUNDATION GRADES TO CONFIRM THE INTENDED ELEVATIONS FOR SERVING ARE AVAILABLE.
- SERVICE LINES SHALL BE INSTALLED HAVING A GRADE NOT LESS THAN 2% AND TO BE INSTALLED AT THE CENTER OF THE BUILDING LOT AND PERPENDICULAR TO THE MAINS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

B	REVISED FOR CLIENT REVIEW	D.J.M.	08/01/23
A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE

A - PLAN, SECTION, ELEVATION, OR DETAIL No.
 B - No. OF DRAWING WHERE ABOVE IS DRAWN

REFERENCE:

STAMP:

PERMIT STAMP:

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 A1E 2Z6 info@dynamicengineering.ca

**PRELIMINARY ONLY
 NOT FOR CONSTRUCTION**

CLIENT: **STONEMOUNT ENTERPRISES LTD.**

PROJECT TITLE: **PROPOSED RESIDENTIAL SUBDIVISION GALLANTS STREET**

DRAWING TITLE: **LOT GRADING PLAN SHEET 2 OF 2**

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	C6
		REV.:	B

NOTE:
AREA 1 BASED ON INFORMATION
PROVIDED BY PINNACLE ENGINEERING
LTD FROM PARADISE ROAD DESIGN

AREA 8
4.936Ha

PROPOSED STORM SEWER AND
HEADWALL FROM PARADISE ROAD
(BY OTHERS)

AREA 7
0.13Ha

AREA 6
0.22Ha

AREA 1
0.31Ha

AREA 2
0.49Ha

AREA 9
0.20Ha

AREA 10
0.54Ha

AREA 4
0.41Ha

AREA 3
0.27Ha

AREA 11
0.12Ha

AREA 5
0.33Ha

REMBRANT BOULEVARD

TUDOR AVENUE

LANARK DRIVE


GALLANTS STREET

ARCHIBALD DRIVE

#172 #174 #176 #178 #180 #182 #184 #186 #188 #190 #192 #194

PROPOSED STORM
RUNOFF STORAGE AREA

Reviewed with no comments, Approved
INFRASTRUCTURE AND ENGINEERING
Reviewed/Approved as to the general conformity of the design concept.
Sole responsibility for the correct design, details and dimensions shall
remain with the party submitting the drawing. Review is for conformity
of the design concept and general arrangement. The Developer/Engineer
of Record is not relieved of responsibility for errors or omissions and
shall meet all requirements of the design.



Shannon Toope 06/29/2023

0 20 40m
Scale 1:750

NOTES:

A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE

A	A - PLAN, SECTION, ELEVATION, OR DETAIL No.
B	B - No. OF DRAWING WHERE ABOVE IS DRAWN

REFERENCE:



STAMP:



PERMIT STAMP:



DYNAMIC
ENGINEERING LTD.

Civil • Management • Consulting

62 CAMPBELL AVENUE TEL: (709) 368-1669
ST. JOHN'S, NL FAX: (709) 368-0318
A1E 2Z6 info@dynamicengineering.ca

CLIENT:

STONEMOUNT
ENTERPRISES LTD.

PROJECT TITLE:

WILLOWBANKS
SUBDIVISION
PHASE 3

DRAWING TITLE:

STORM SEWER
DRAINAGE AREA PLAN

DRAWN/DESIGNED BY:

D.J.M. DATE: APRIL 2023

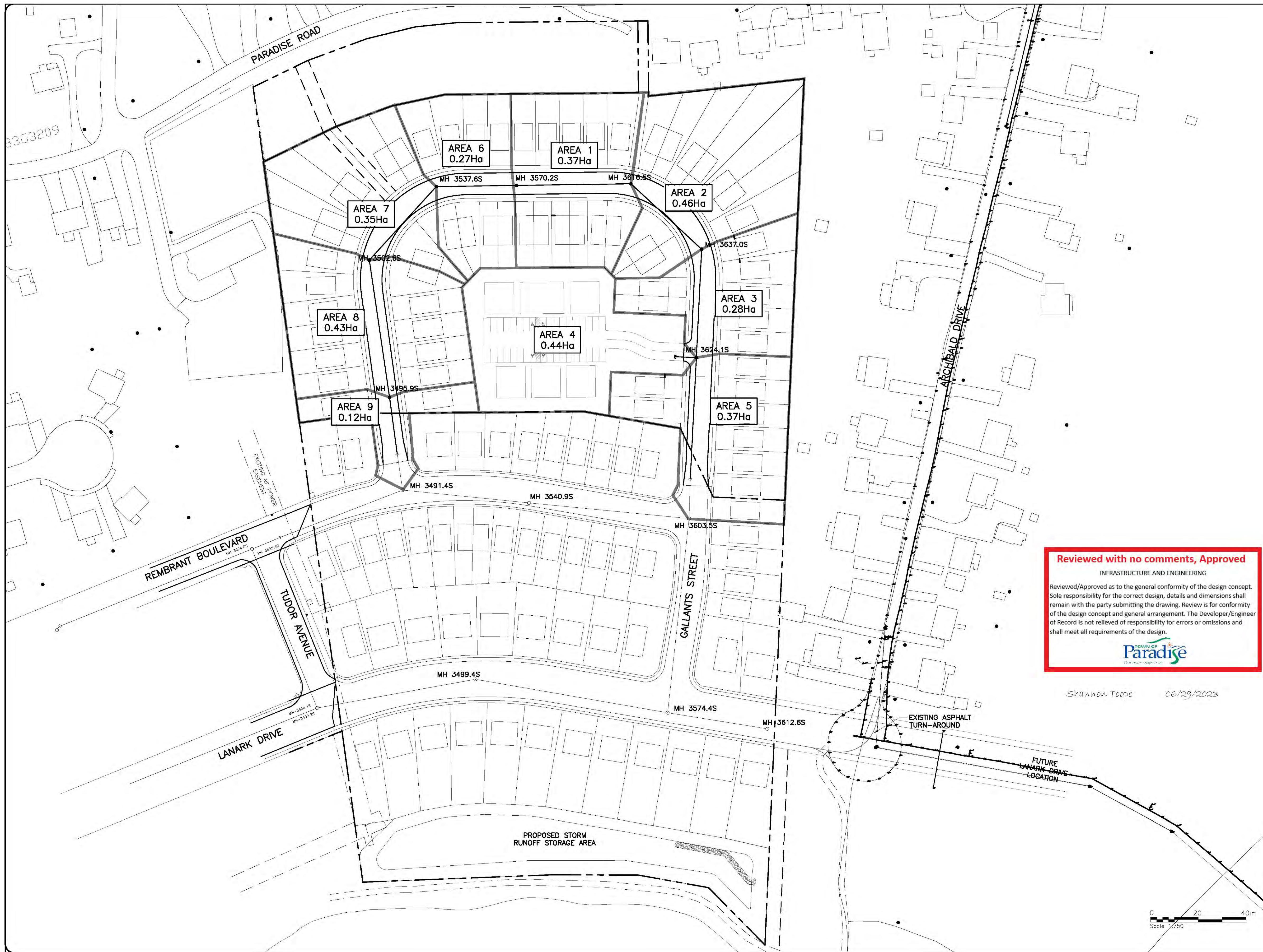
APPROVED BY:


D.J.M. SCALE: AS SHOWN

PROJECT No.: 23216

DRAWING No.: DP1

REV.: A



Reviewed with no comments, Approved
 INFRASTRUCTURE AND ENGINEERING
 Reviewed/Approved as to the general conformity of the design concept. Sole responsibility for the correct design, details and dimensions shall remain with the party submitting the drawing. Review is for conformity of the design concept and general arrangement. The Developer/Engineer of Record is not relieved of responsibility for errors or omissions and shall meet all requirements of the design.



Shannon Toole 06/29/2023

NOTES:

A	ISSUED FOR CLIENT REVIEW	K.B.	04/26/23
No.	REVISIONS	BY	DATE
A	A - PLAN, SECTION, ELEVATION, OR DETAIL No.		
B	B - No. OF DRAWING WHERE ABOVE IS DRAWN		

REFERENCE:

STAMP:



PERMIT STAMP:

PROVINCE OF NEWFOUNDLAND AND LABRADOR

PEG PERMIT HOLDER
This Permit Allows

DYNAMIC ENGINEERING LTD.

To practice Professional Engineering in Newfoundland and Labrador Permit No. as issued by PEG, N0579 which is valid for the year 2023

DYNAMIC ENGINEERING LTD.

Civil • Management • Consulting

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ST. JOHN'S, NL FAX: (709) 368-0318
A1E 2Z6 info@dynamicengineering.ca

CLIENT:

STONEMOUNT ENTERPRISES LTD.

PROJECT TITLE:

WILLOWBANKS SUBDIVISION PHASE 3

DRAWING TITLE:

SANITARY SEWER DRAINAGE AREA PLAN

DRAWN/DESIGNED BY:	D.J.M.	DATE:	APRIL 2023
APPROVED BY:	D.J.M.	SCALE:	AS SHOWN
PROJECT No.:	23216	DRAWING No.:	DP2
		REV.:	A

GENERAL NOTES

AS BUILT

PROVINCE OF NEWFOUNDLAND AND LABRADOR
PEG
 PERMIT HOLDER
 This Permit Allows
DYNAMIC ENGINEERING LTD.
 To practice Professional Engineering
 in Newfoundland and Labrador
 Permit No. as issued by PEG 20529
 which is valid for the year 2024



NOTE:
 GRADING AND FLOW PATH TRAVEL
 SHOWN ON GALLANTS STREET LOTS ARE
 AS DESIGNED, AND NOT AS-BUILT, AS
 THEY REMAIN UNDER CONSTRUCTION.

APPROXIMATE REGRADED AREA TO
 NEW FINISH GRADES SHOWN.
 AREA LANDSCAPED WITH 150mm
 TOPSOIL AND SOD.

NEW ROCK SUMP,
 1.2x5.0x1.5m DEEP, FILLED
 WITH 100mm MINUS BLAST
 ROCK WRAPPED IN
 GEOTEXTILE.

No.	REVISION DESCRIPTION	BY	DATE
1	REVISED AS AS-BUILT	D.M.	09/10/24
A	ISSUED AS AS-BUILT	D.M.	08/28/24

DYNAMIC
 ENGINEERING LTD.

Civil • Management • Consulting

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 TEL: (709) 368-1667
 FAX: (709) 368-0318
 info@DynamicEngineering.ca

CLIENT:
**STONEMOUNT
 ENTERPRISES LTD**

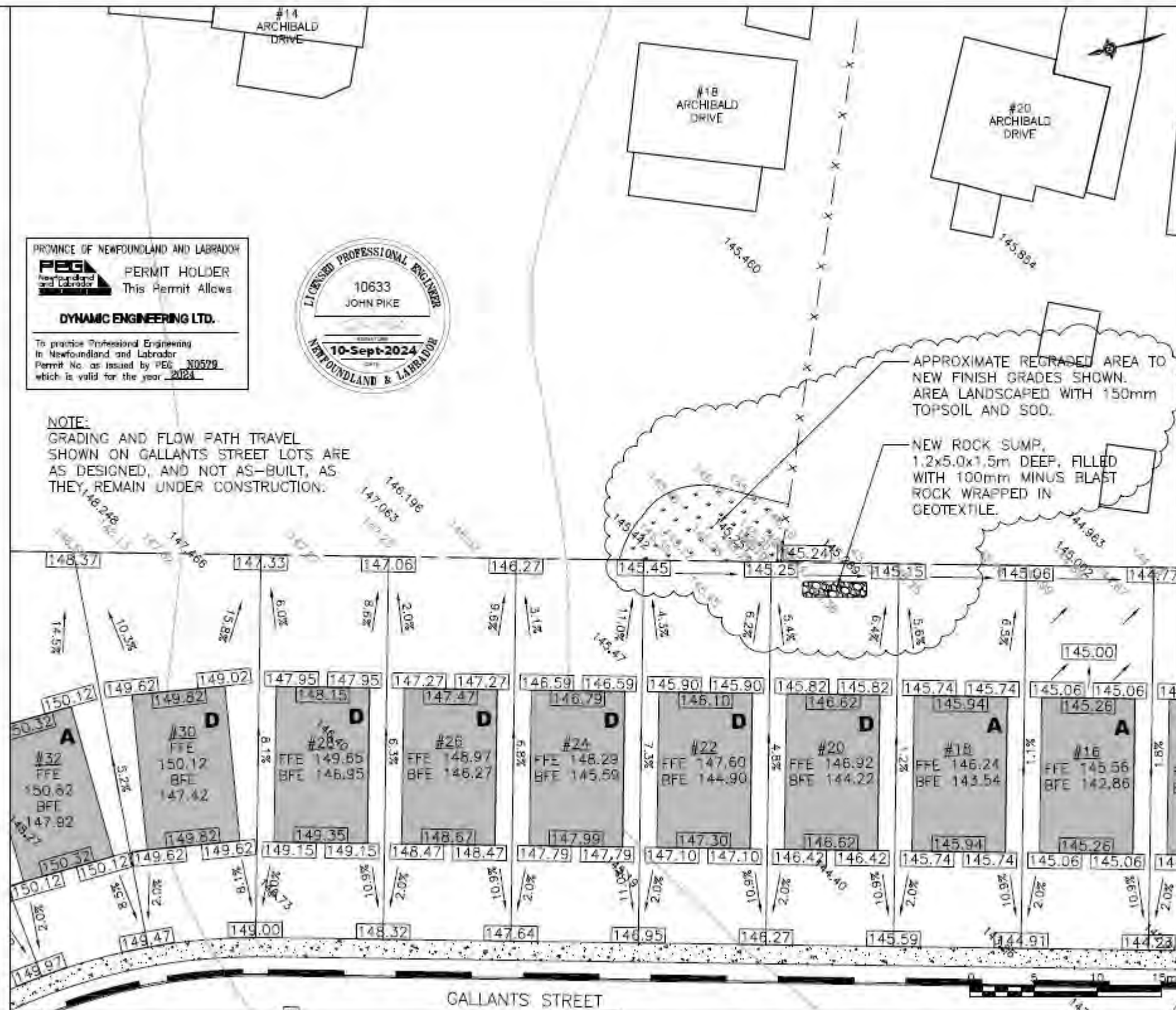
PROJECT:
**WILLOWBANKS
 SUBDIVISION
 PHASE 3A**

DRAWING TITLE:
**PARTIAL
 LOT GRADING PLAN**

DWN/DSG: D.J.M. DATE: JULY 2024

APPR'D: D.J.M. SCALE: AS SHOWN

PROJECT NO. 23216 DWG NO. SK2 REV. AB1



GALLANTS STREET

